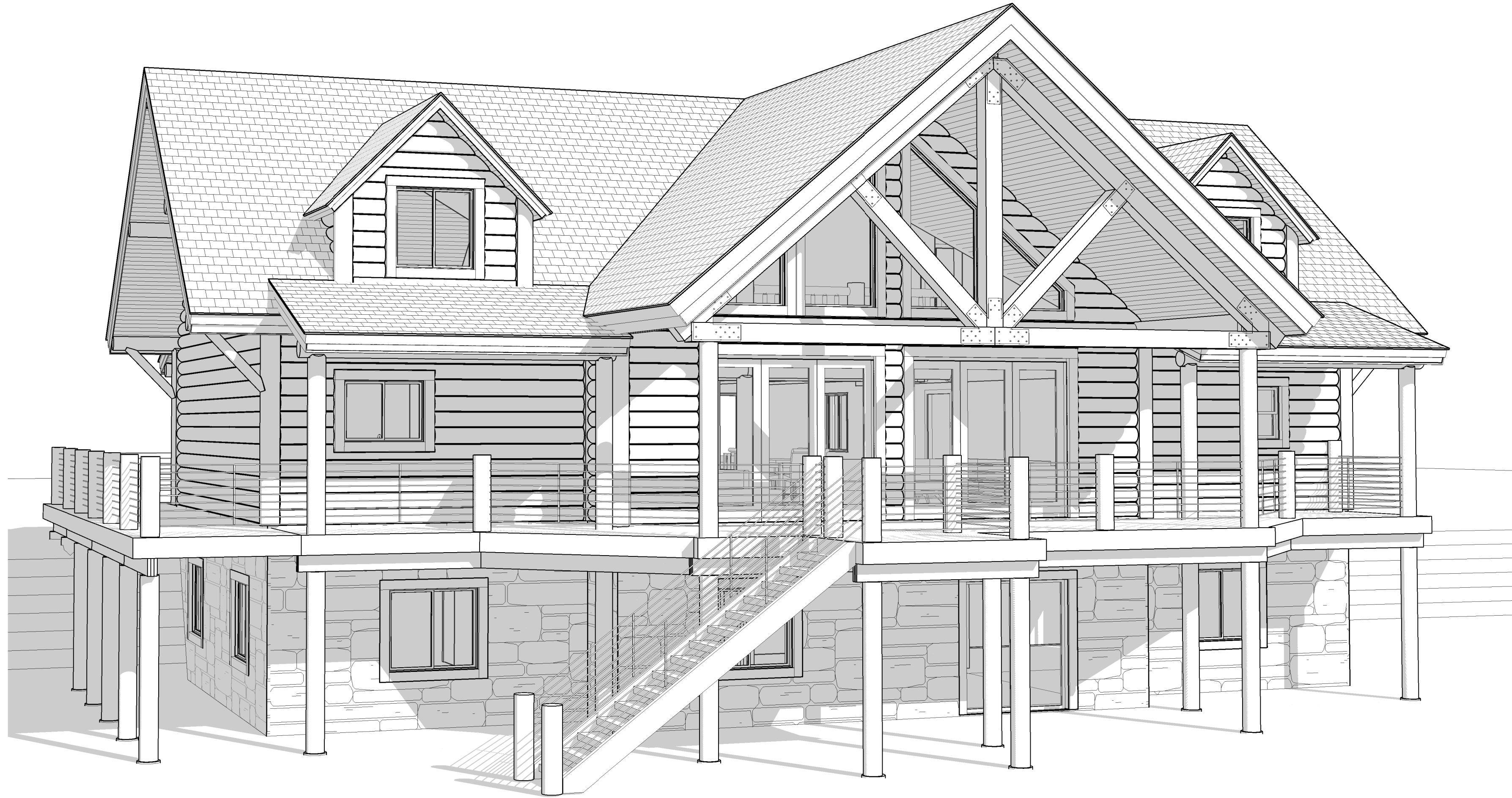


NOT FOR CONSTRUCTION



Whisper Creek

Whisper Creek
1857 Hwy 93 South
Hamilton, MT 59840
Ph. 877-289-9254
terrif@wclh.com

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PRELIMINARY PLAN SET

REVISIONS		
No.	By:	Date:

PROJECT NAME:
**ASPEN GROVE
HYBRID**

OWNER:

ADDRESS:

DRAWING TITLE:
COVER SHEET

PROJECT NO.:	DRAWN BY: JCF	
	CHECKED BY: MANAGER	
	DATE: 4/17/2023 7:56:15 AM	
	SHEET NO.:	
	A0.0	

DESIGN CRITERIA GOVERNING CODES

2018 INTERNATIONAL BUILDING CODE (IBC)
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	
	GROUND LOAD	62 PSF
	FLAT ROOF	52 PSF
	EXPOSURE FACTOR	Ce= 1.0
	THERMAL FACTOR	
WARM		Ct= 1.1
COLD		Ct= 1.1
IMPORTANCE FACTOR		Is= 1.0

WIND DESIGN

ULTIMATE SPEED	90MPH
IMPORTANCE FACTOR	Iw= 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	C
-------------------------	---

FROST DEPTH

36"

SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

ELEVATION

####

WCLH DESIGN
CRITERIA
A

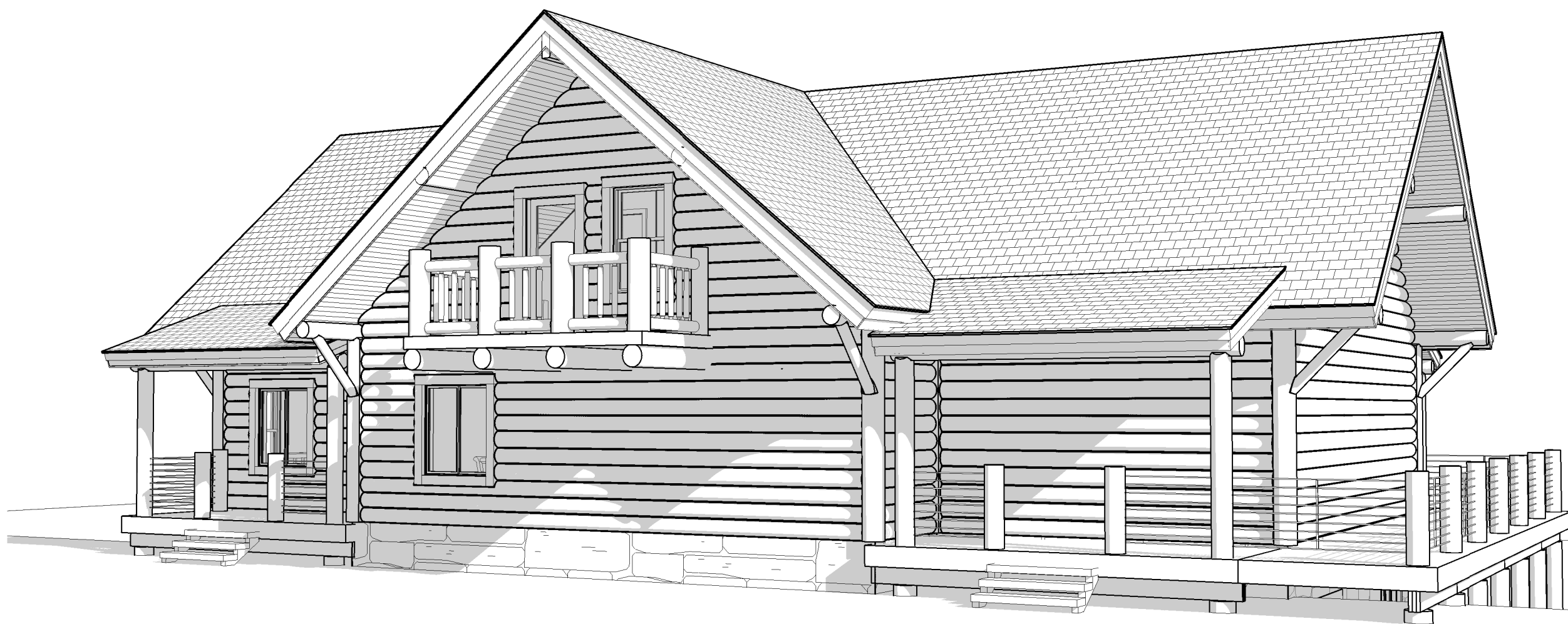
ATTENTION:

- SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO: IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
- FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. LOCAL ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
- MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. THE OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
- SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR

- TRUSS CALCS BY TRUSS MANUFACTURER

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.



SHEET LIST - PRELIMINARY PLANS	
SHEET#	SHEET NAME
A1.0	BASEMENT PLAN
COVER	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.1	MAIN FLOOR PLAN
A1.2	LOFT FLOOR PLAN
A2.0	FRONT & RIGHT ELEVATION
A2.1	BACK & LEFT ELEVATION
A3.0	SCHEDULES
A4.0	COMPONENT ISOMETRIC

AREA SCHEDULE	
NAME	AREA
LIVING	
MAIN FLOOR	2088 SF
LOFT	1486 SF
UNFINISHED BASEMENT	
BASEMENT	2088 SF
2088 SF	

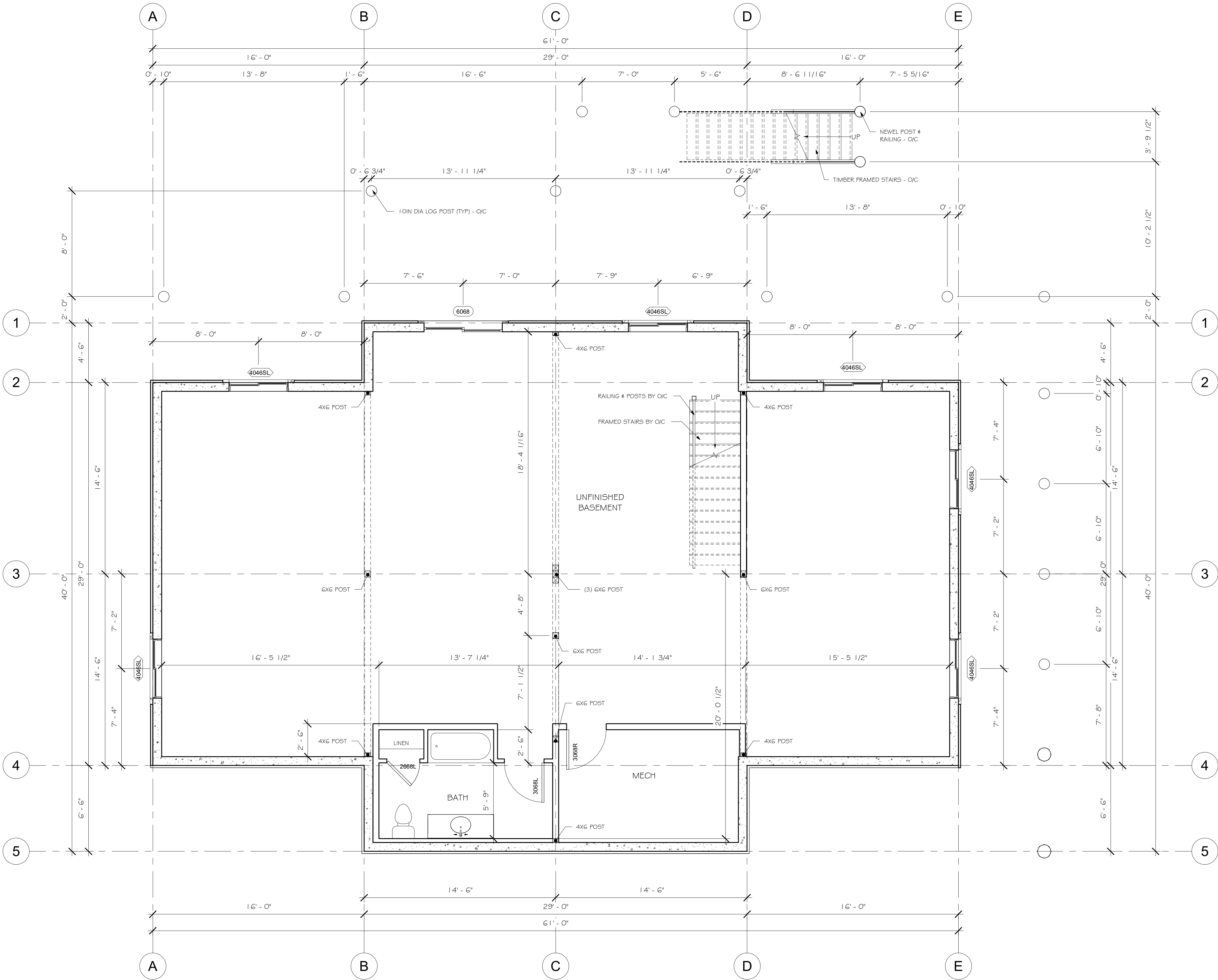
NOT FOR CONSTRUCTION

BASEMENT NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. PROVIDE WINDOW WELLS AS REQUIRED BY FINISH GRADE. (CONTRACTOR TO VERIFY). SEE WINDOW WELL DETAIL.
4. BASEMENTS ENCLOSING CONDITIONED SPACE SHALL BE INSULATED.
5. UNFINISHED AND FINISHED SPACES SHALL BE SEPARATED BY A DOOR.

ABBREVIATIONS

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- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD



I BASEMENT
1/4" = 1'-0"

SHEET TITLE:
BASEMENT PLAN

SHEET NO.:
A1.0

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REVISIONS

No.	By:	Date:

PROJECT NAME:

OWNER:

ADDRESS:

DRAWING TITLE:

BASEMENT PLAN

PROJECT NO.:

DRAWN BY:

Author

CHECKED BY:

Checker

DATE:

4/17/2023 7:56:16 AM

SHEET NO.:

A1.0

NOT FOR CONSTRUCTION

FLOOR PLAN NOTES

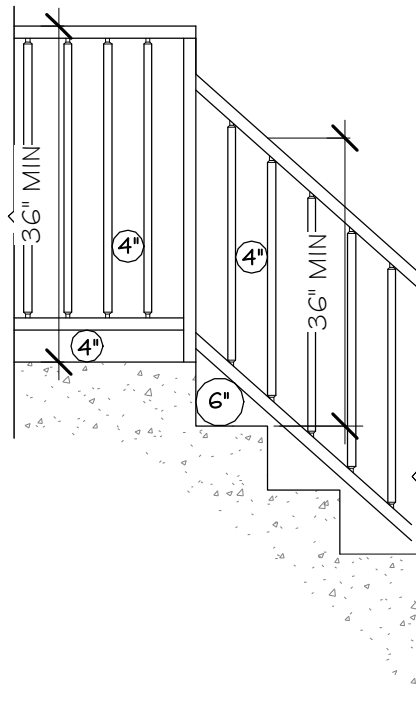
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2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2' LOWER THAN TOP OF THRESHOLD ON THE EXTERIOR SIDE. IT SHALL NOT BE LOWER THAN 7 3/4" FROM TIP OF THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER LANDING OR FLOOR.

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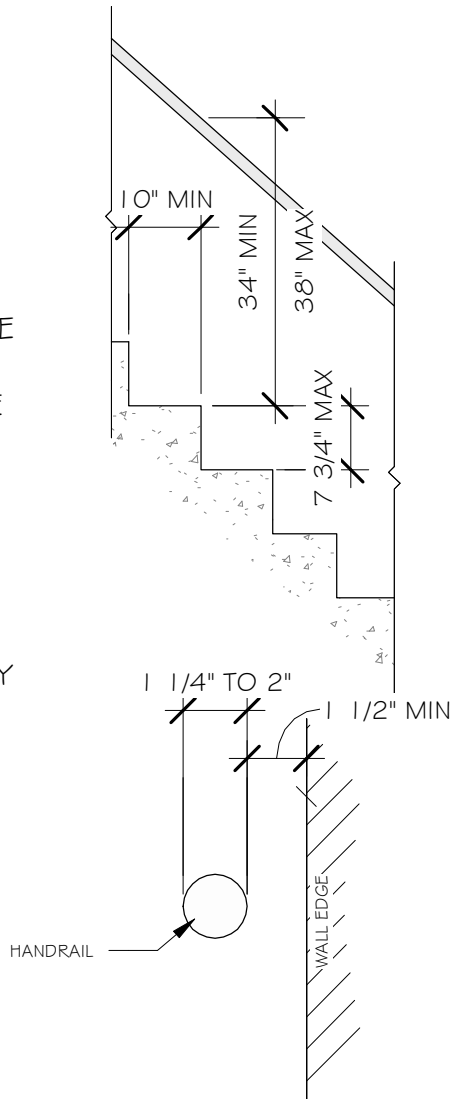
GUARDRAIL NOTES:

1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT 6-INCH SPHERE CANNOT PASS THROUGH.



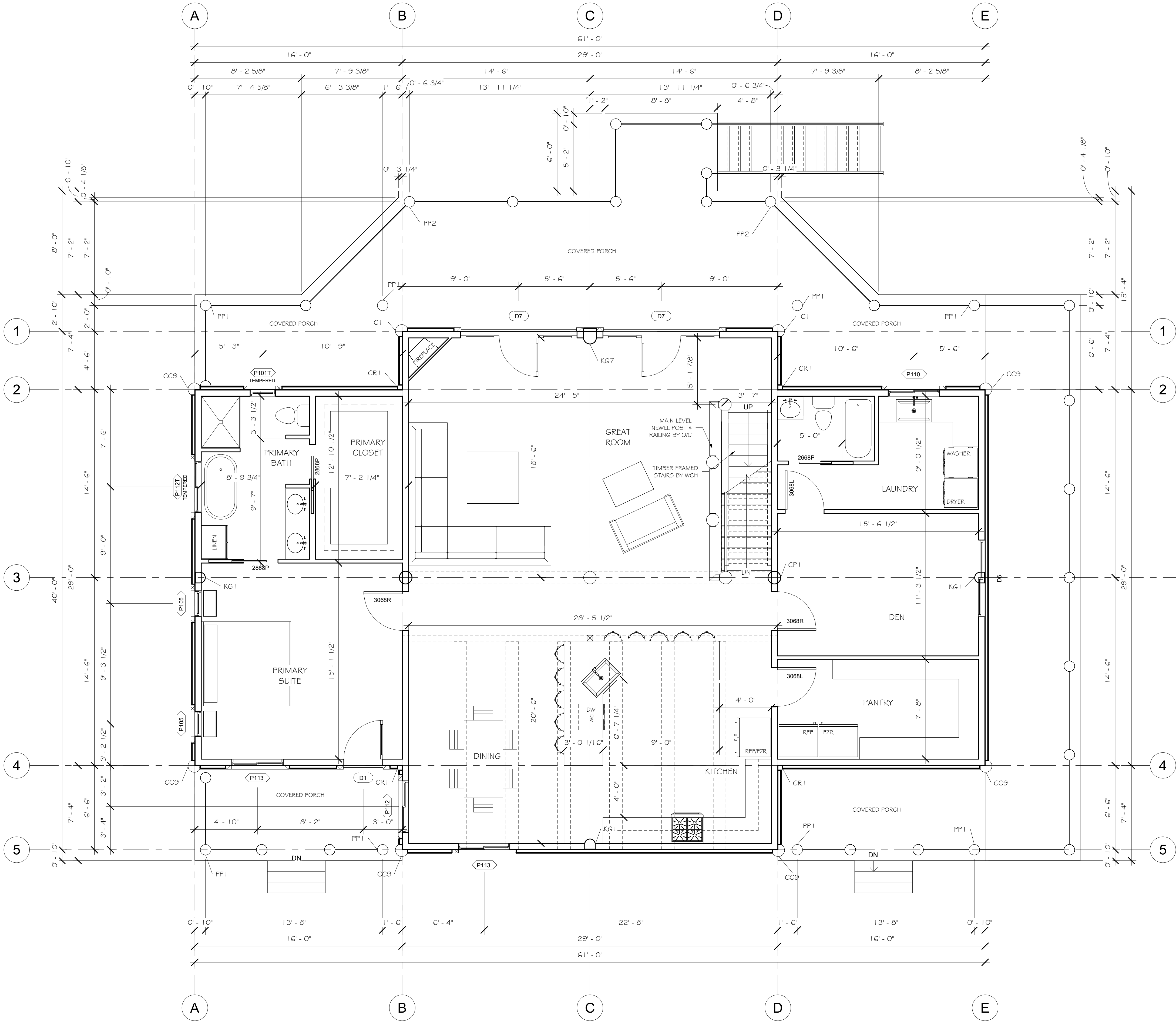
HANDRAIL NOTES:

1. RESIDENTIAL STAIRS REQUIRE HANDRAILS ON A MINIMUM OF ONE SIDE.
2. HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH ENDS RETURNED TO NEWEL POST OR WALL.
3. THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/4" INCHES AND NOT GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTION FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND ANY ABUTTING CONSTRUCTION SO AS TO AVOID INJURY TO FINGERS.



STAIRWAY NOTES:

1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.
2. THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES OR GREATER THAN 7-3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
3. THE RUN SHALL NOT BE LESS THAN 10 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHER MOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.
4. WINDER TREADS SHALL HAVE A MINIMUM OF TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE NARROW SIDE OF THE TREAD, AND HAVE A MINIMUM DEPTH OF 6". WITHIN ANY FLIGHT OF STAIRS THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".



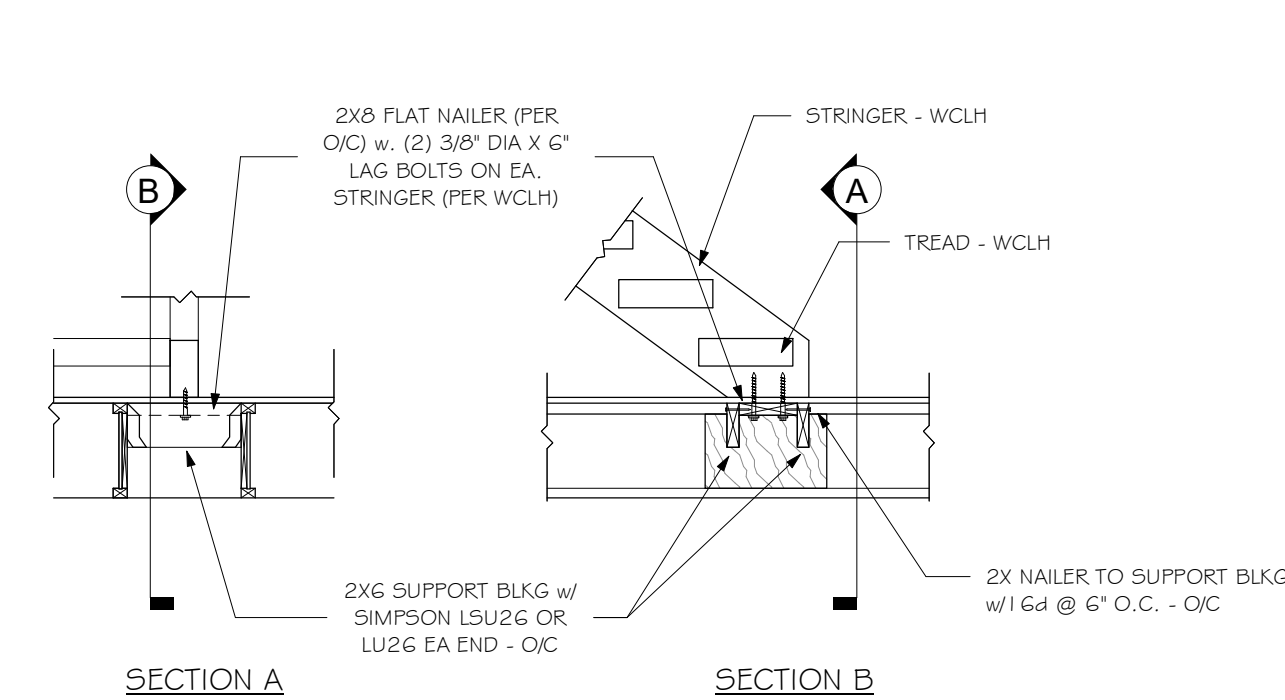
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FLOOR PLAN NOTES

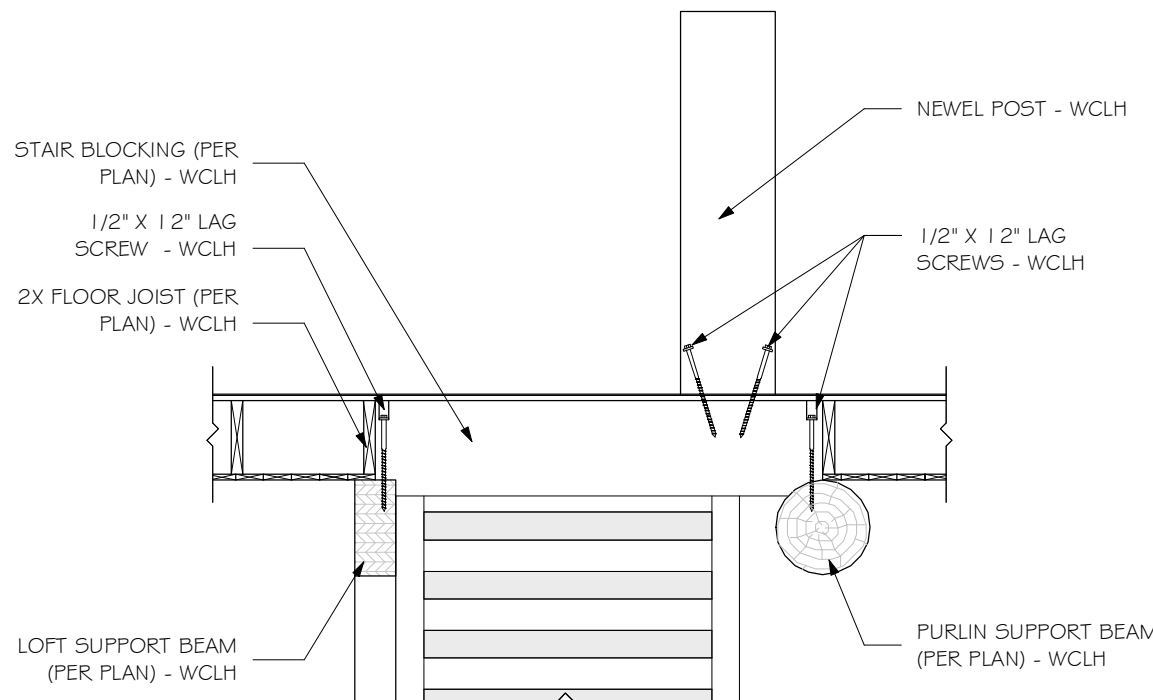
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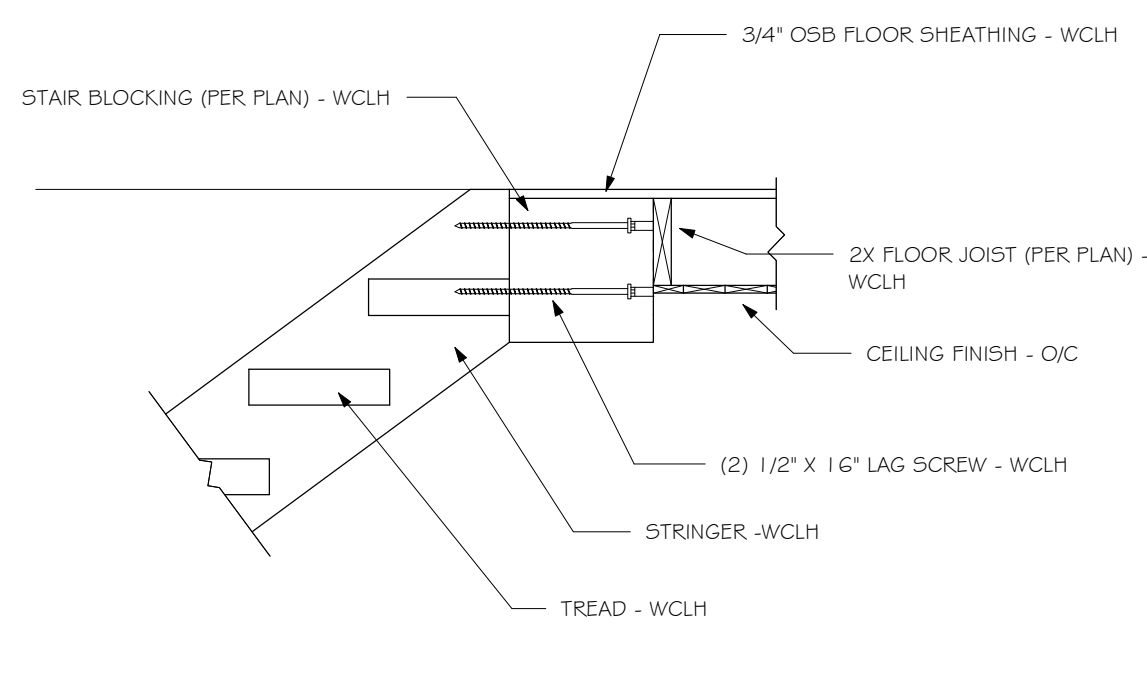
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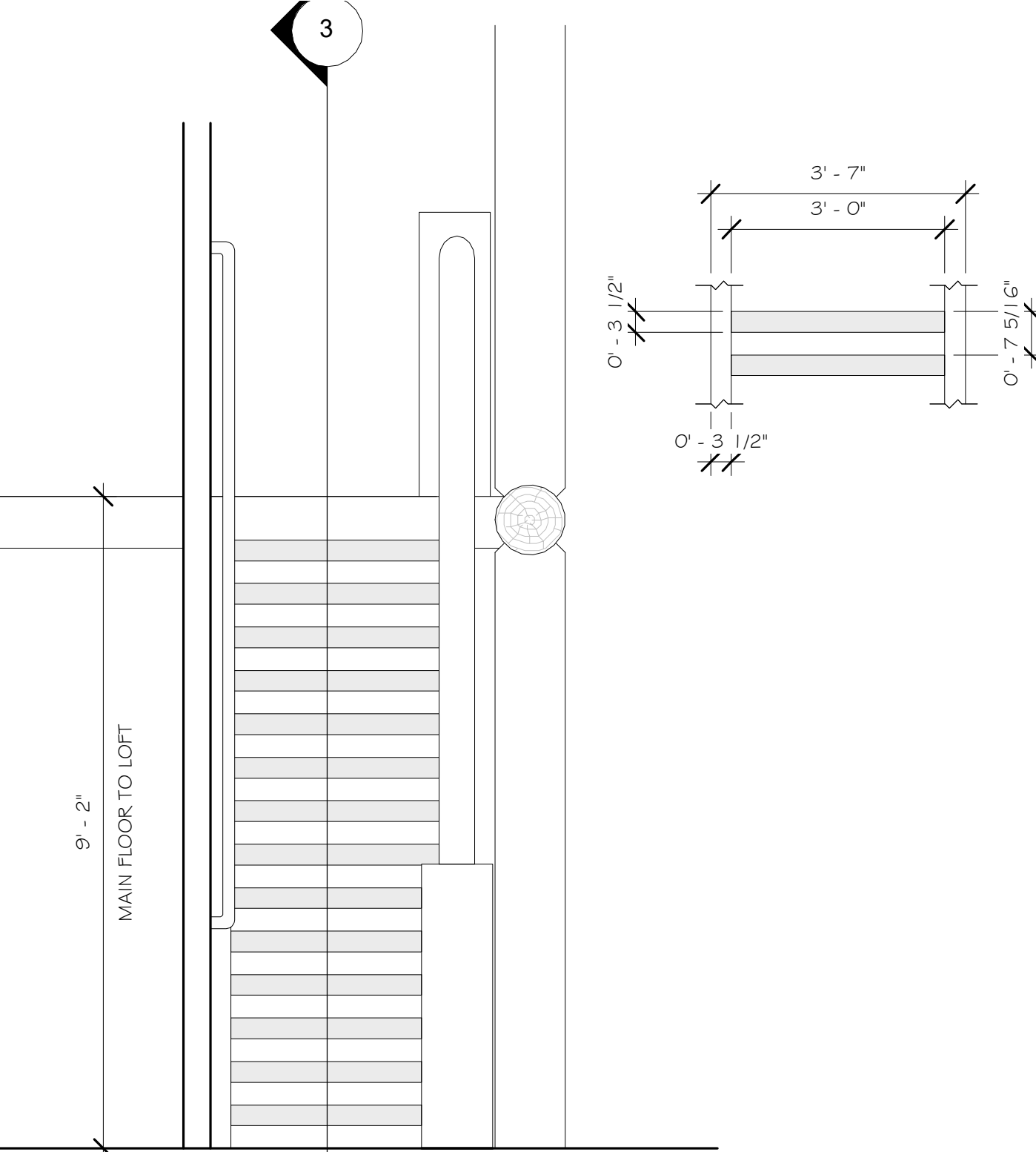
STAIR BASE CONNECTION
1/2" = 1'-0"



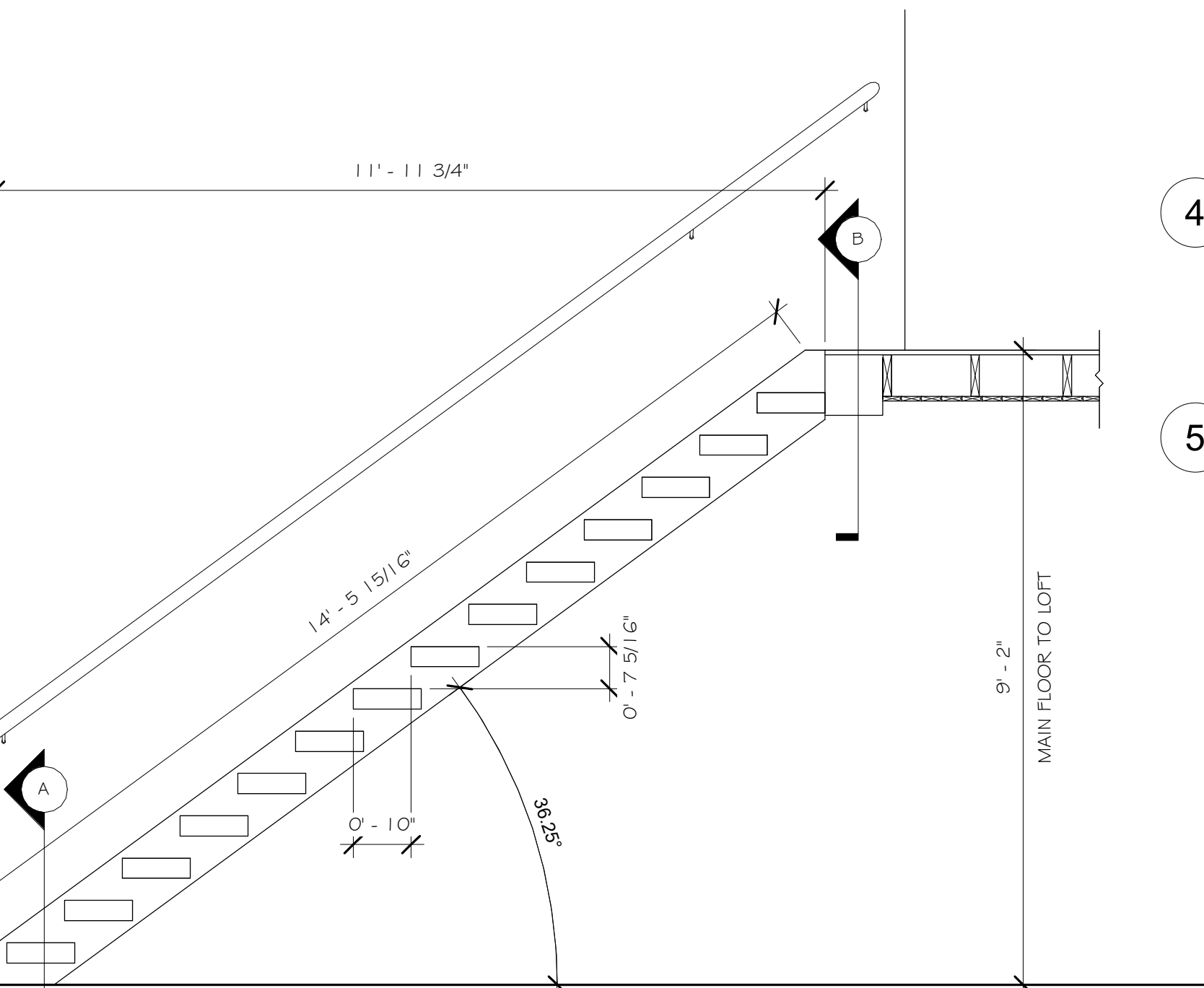
STAIR BLOCKING/ NEWEL POST
1/2" = 1'-0"



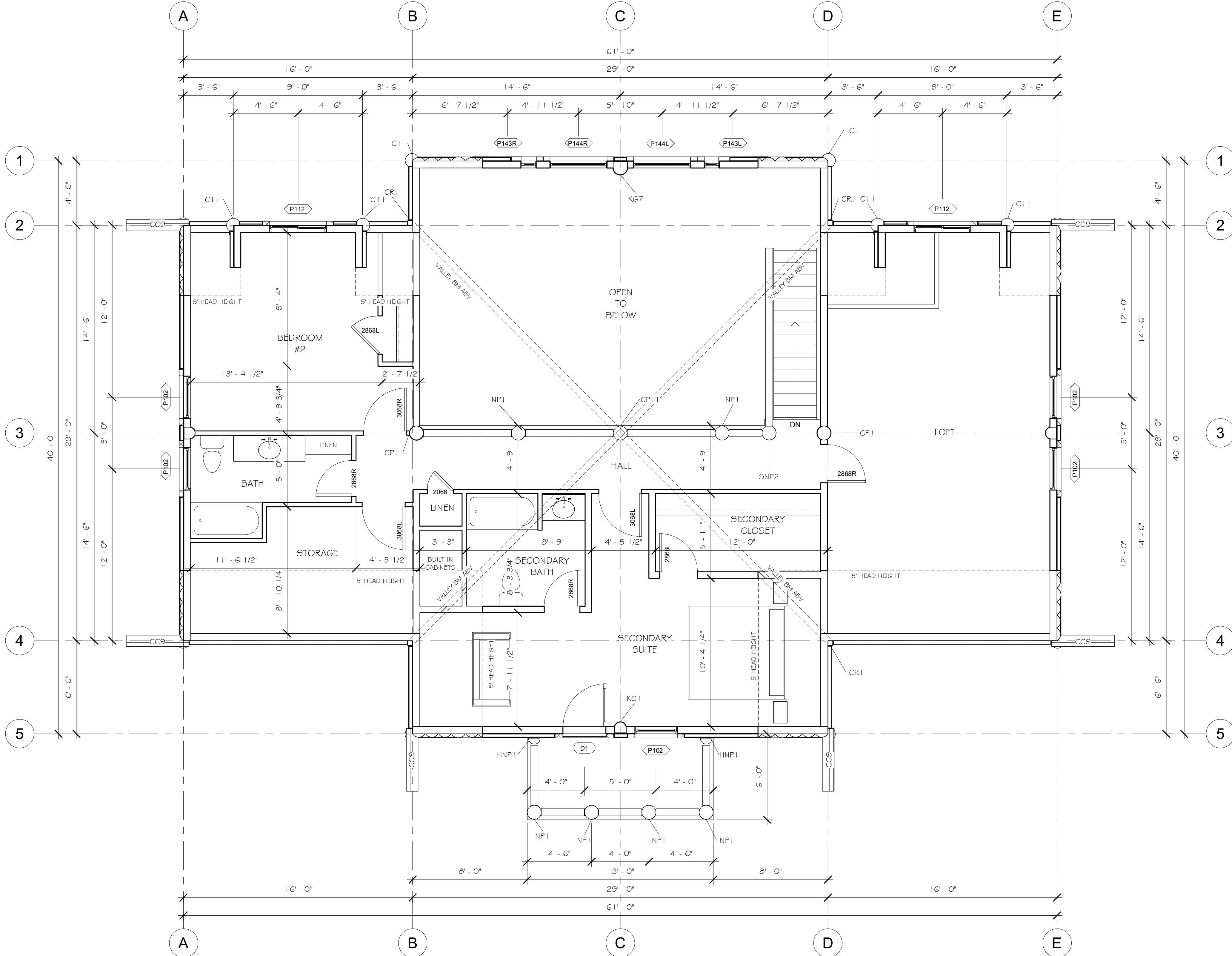
STAIR BLOCKING
3/4" = 1'-0"



STAIR ELEVATION/ WC MODEL
1/2" = 1'-0"



STAIR SECTION/ WC MODEL
1/2" = 1'-0"



LOFT
1/4" = 1'-0"

LOFT FLOOR PLAN

PLAN NO.: A1.2

SHEET NO.:

Whisper Creek

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Ph. 877-289-9254
terrif@wclh.com

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PRELIMINARY
PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:
ASPEN GROVE
HYBRID

OWNER:

ADDRESS:

DRAWING TITLE:
LOFT FLOOR PLAN

PROJECT NO.:

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE: 4/17/2023 7:56:18 AM

SHEET NO.: A1.2

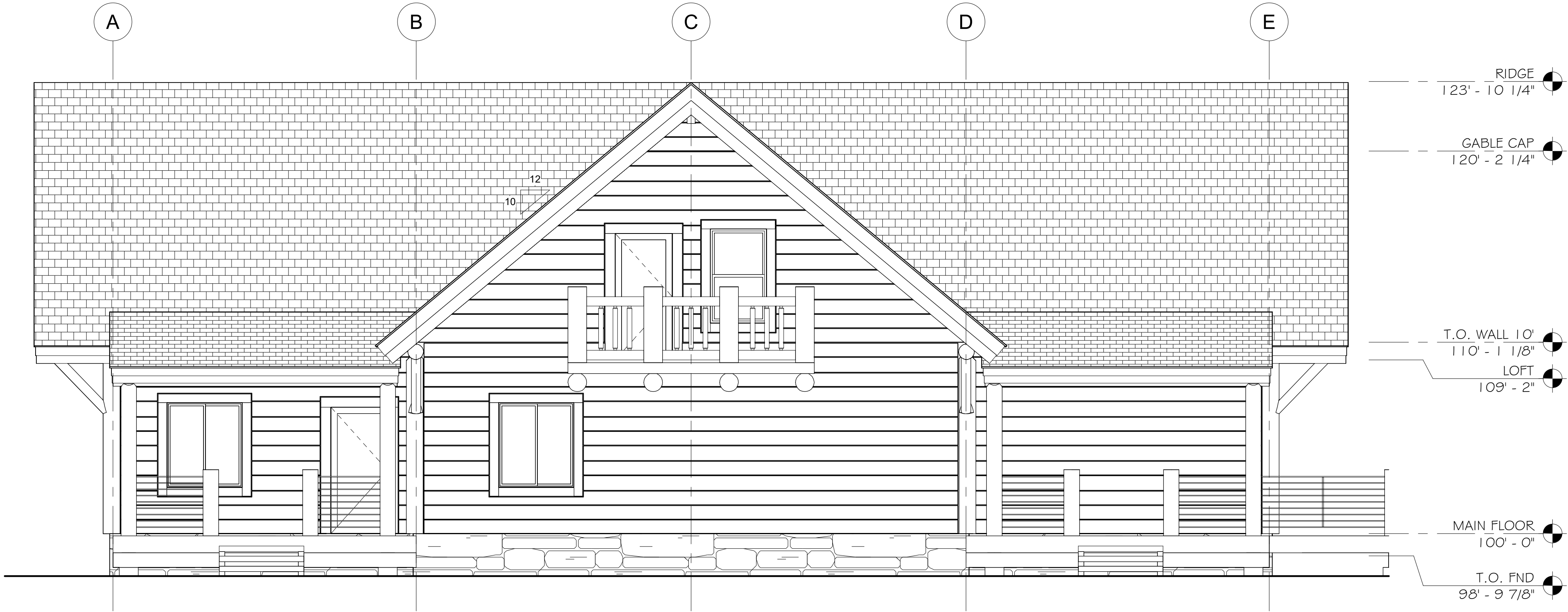
NOT FOR CONSTRUCTION

ELEVATION NOTES

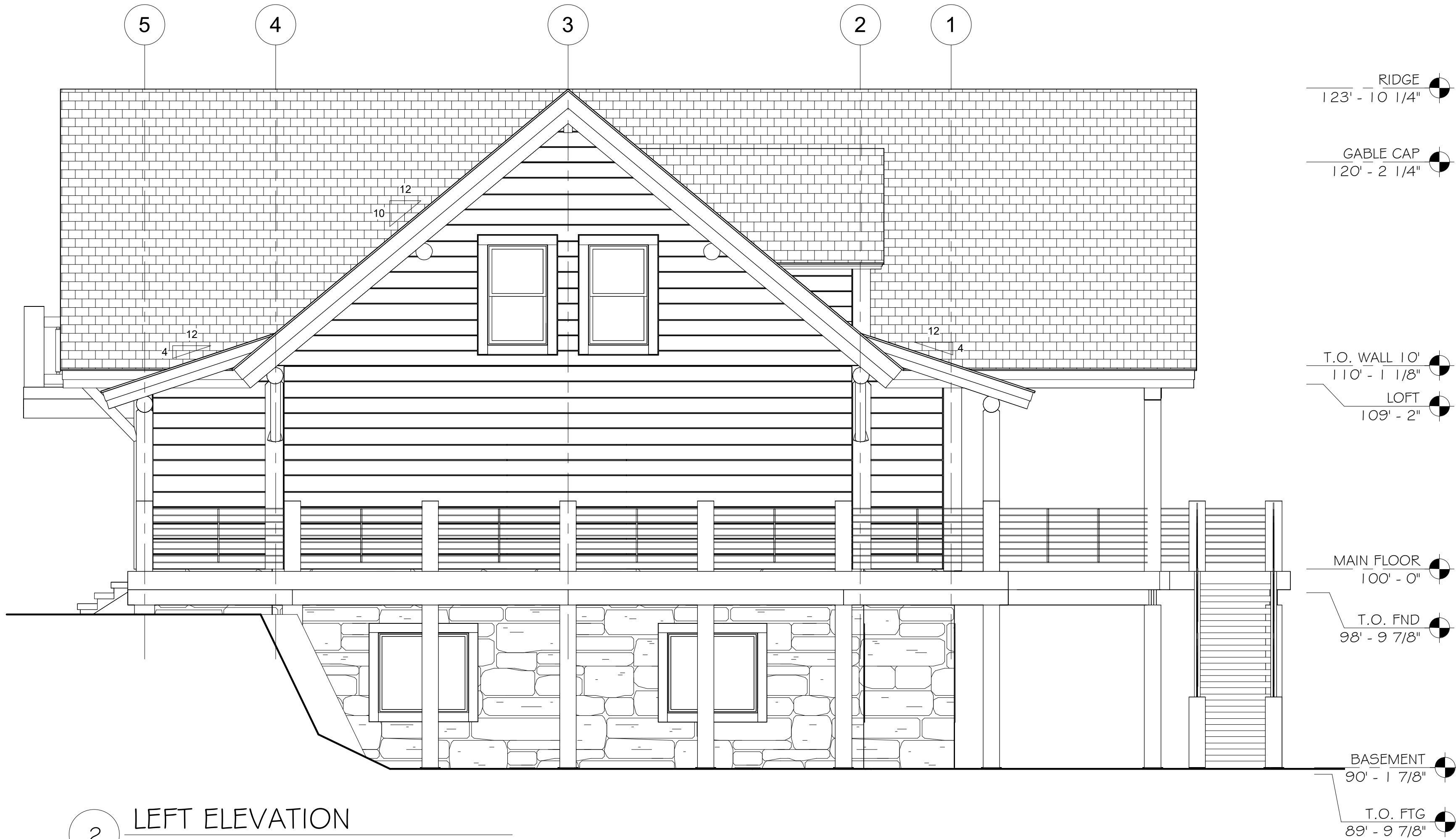
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- 3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- 4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

ABBREVIATIONS

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1 BACK ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

FRONT & RIGHT ELEVATION

SHEET NO. A2.0

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PRELIMINARY
PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:
**ASPEN GROVE
HYBRID**

OWNER:

ADDRESS:

DRAWING TITLE:
**FRONT & RIGHT
ELEVATION**

PROJECT NO.:	
	DRAWN BY: JCF
	CHECKED BY: MANAGER
	DATE: 4/17/2023 7:56:20 AM
PLAN NO.:	SHEET NO. A2.0

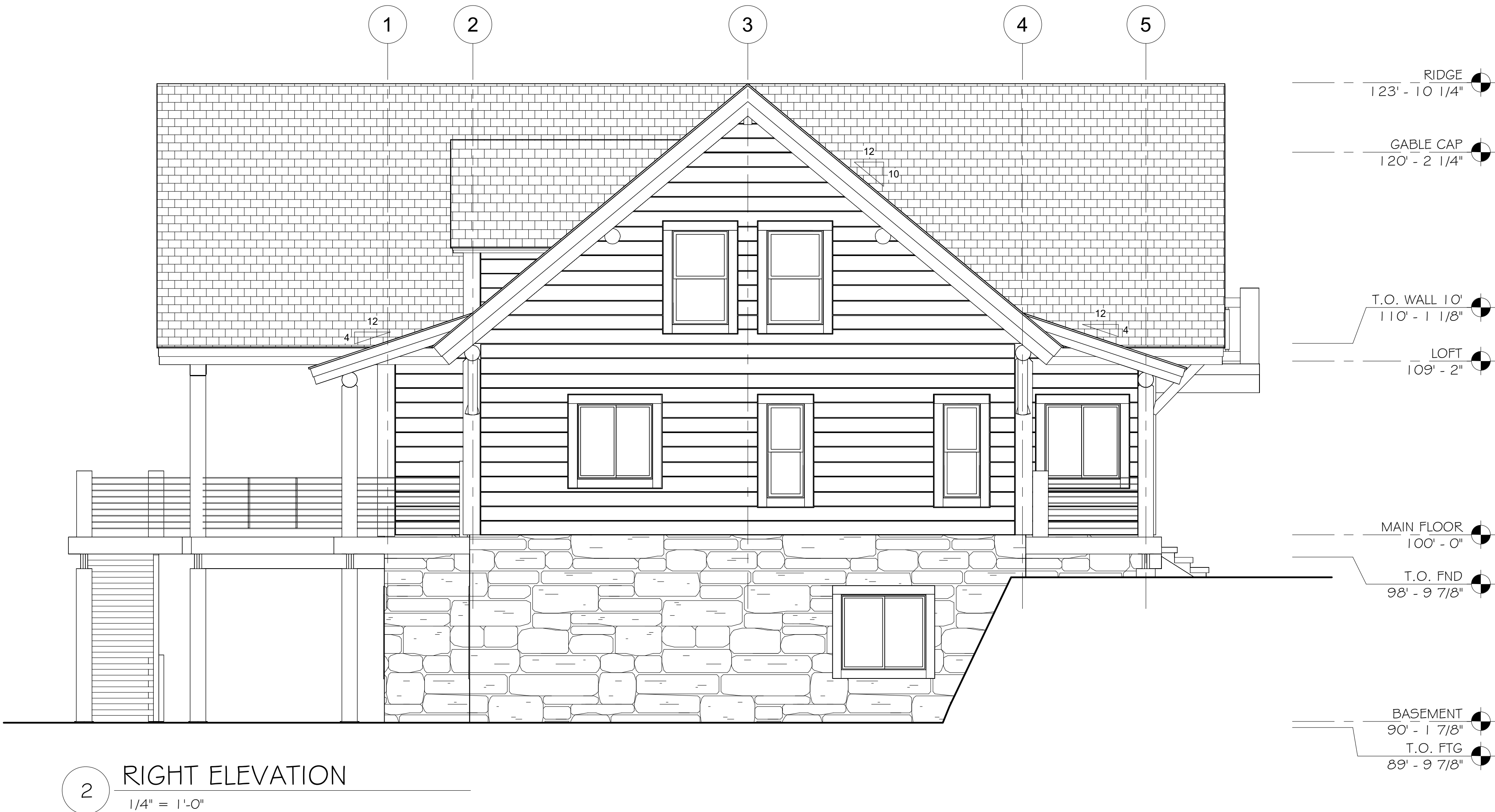
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PLAN NO.:
SHEET NO.:
BACK & LEFT ELEVATION
A2.1

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No.	By:	Date:	

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ASPEN GROVE
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OWNER:

ADDRESS:

DRAWING TITLE:
BACK & LEFT
ELEVATION

PROJECT NO.:
DRAWN BY: JCF
CHECKED BY: MANAGER
DATE: 4/17/2023 7:56:22 AM
SHEET NO.:
A2.1

NOT FOR CONSTRUCTION

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
ATTACHMENT WALL CORNER			
CR1	4	10' - 1 1/8"	4x ROUGH SAWN TIMBER
CANTILEVER CORNER			
CC9	6	9' - 3 1/3 1/6"	12IN DIA LOG POST w/ 10IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CENTER POST			
CP1	2	21' - 7 3/16"	12IN DIA LOG POST
CP1B	1	7' - 7 5/8"	12IN DIA LOG POST w/ TOP NOTCH
CP1T	1	12' - 10 1/8"	12IN DIA LOG POST w/ BOTTOM NOTCH
CORNER POST			
C1	2	10' - 1 1/8"	12IN DIA POST w/ PIE CUT
CORNER POST - DORMER			
C11	4	4' - 7 7/8"	12IN DIA LOG POST
HALF NEWEL POST			
HNP1	3	4' - 0"	12IN DIA HALF LOG POST
KING GABLE POST			
KG1	3	21' - 7 3/16"	12IN LOG POST W/ THREE FLATS
KG7	1	21' - 7 3/16"	14IN LOG POST W/ THREE FLATS
LOFT PURLIN			
LP1	2	16' - 0"	12IN DIA LOG BEAM w/ FLAT CUT
LP2	4	22' - 0"	12IN DIA LOG BEAM w/ FLAT CUT
LOFT SUPPORT BEAM			
LSB1	2	13' - 11 1/2"	5 1/8" X 12" GLULAM BEAM, 24F-V4
LSB2	2	13' - 8 3/8"	12IN DIA LOG BEAM w/ FLAT CUT
LSB3	4	13' - 10 1/2"	5 1/8" X 15" GLULAM BEAM, 24F-V4
LOFT SUPPORT POST			
LSP1	1	7' - 5 1/4"	6X6 DIMENSIONAL LUMBER
NEWEL POST			
NP1	9	4' - 0"	12IN DIA LOG POST
NEWEL POST - STAIR			
SNP1	1	5' - 0"	12IN LOG POST W/ FLAT CUT
SNP2	1	4' - 0"	12IN LOG POST W/ FLAT CUT

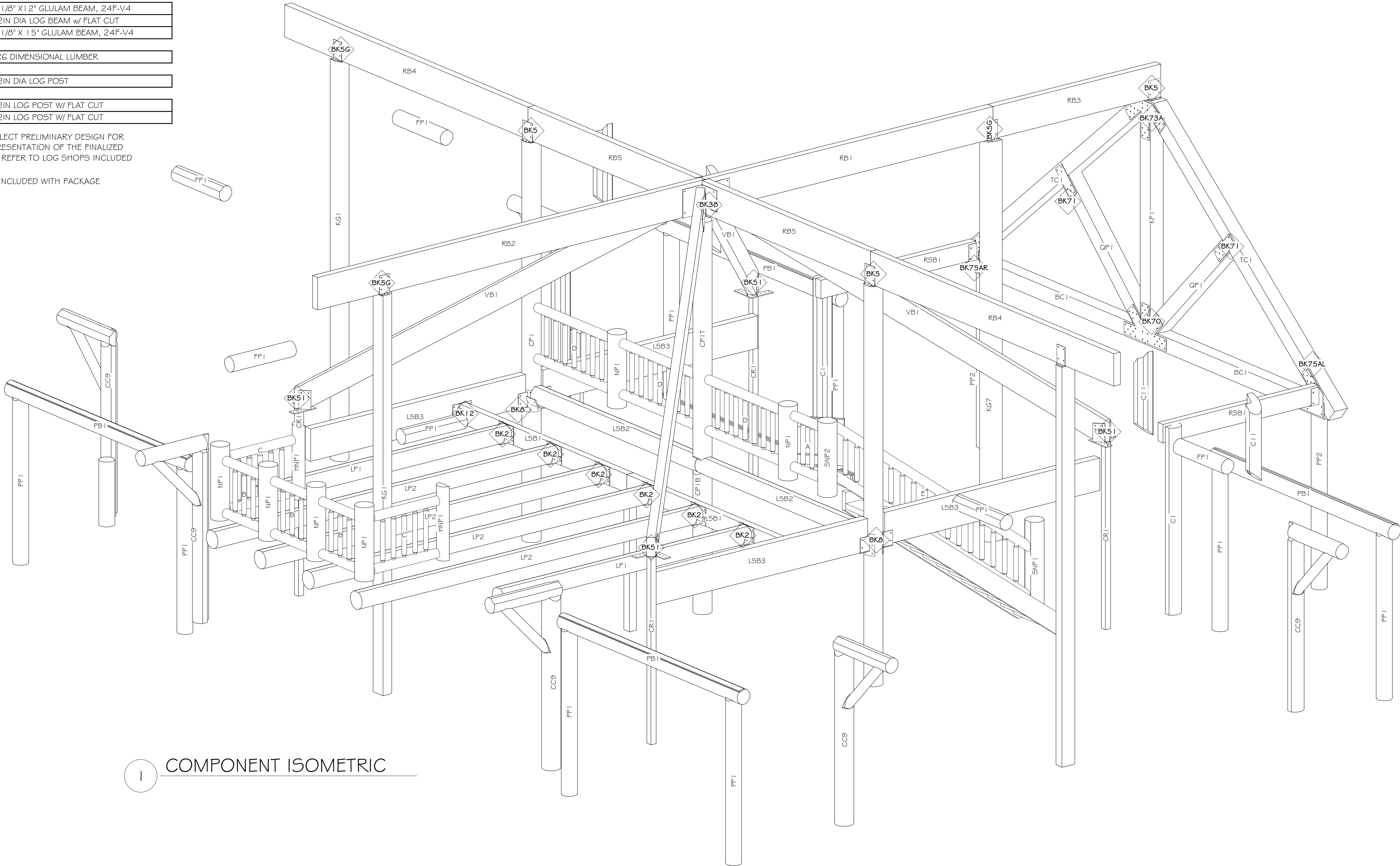
*DIMENSIONS INCLUDED IN SCHEDULES REFLECT PRELIMINARY DESIGN FOR THIS PROJECT AND ARE NOT AN EXACT REPRESENTATION OF THE FINALIZED COMPONENTS. FOR EXACT SPECIFICATIONS REFER TO LOG SHOPS INCLUDED IN FINAL STAMPED PLANS.

*WCLH STANDARD TIMBER FRAMED STAIRS INCLUDED WITH PACKAGE

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
PORCH BEAM			
PB1	4	15' - 0"	16' 2" X 12" DIA w/ FLAT CUT
PORCH POST			
PP1	10	8' - 11 3/16"	10IN DIA LOG POST W/ TOP NOTCH
PP2	2	9' - 4 7/8"	10IN DIA LOG POST
RIDGE BEAM			
RB1	1	18' - 7"	5 1/8" X 21" GLULAM BEAM, 24F-V4
RB2	1	25' - 0"	5 1/8" X 21" GLULAM BEAM, 24F-V4
RB3	1	10' - 10"	5 1/8" X 21" GLULAM BEAM, 24F-V4
RB4	2	20' - 3"	5 1/8" X 21" GLULAM BEAM, 24F-V4
RB5	2	14' - 0"	5 1/8" X 21" GLULAM BEAM, 24F-V4
ROOF PURLIN - FAKE PURLIN			
FP1	6	4' - 0"	10IN DIA LOG BEAM w/ FLAT CUT

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
ROOF SUPPORT BEAM			
RSB1	2	10' - 0"	5 1/8" X 12" GLULAM BEAM, 24F-V4
VALLEY BEAM			
VB1	4	23' - 6"	5 1/8" X 15" GLULAM BEAM, 24F-V4
W-TRUSS			
BC1	2	14' - 10 3/4"	10 X 10 ROUGH SAWN TIMBER - TRUSS BOTTOM CHORD
KP1	1	11' - 10 7/16"	10 X 10 ROUGH SAWN TIMBER - TRUSS KING POST
QP1	2	8' - 11 1/8"	10 X 10 ROUGH SAWN TIMBER - TRUSS QUEEN POST
TC1	2	20' - 7 13/16"	10 X 10 ROUGH SAWN TIMBER - TRUSS TOP CHORD

BRACKET SCHEDULE		
BRACKET #	COUNT	DESCRIPTION
BK2	6	LOFT PURLIN SADDLE
BK5	3	CENTER POST TO RIDGE BEAM
BK5G	4	KING GABLE POST TO RIDGE BEAM
BK8	2	CENTER POST TO LOFT SUPPORT BEAM (GLB # LOG)
BK12	2	LOFT SUPPORT BEAM SADDLE
BK38	1	REDGE BEAM # VALLEY BEAMS TO CENTER POST CONNECTION
BK51	4	VALLY BEAM TO WALLS
BK70	1	KING POST # QUEEN POST TO BOTTOM CHORD CONNECTION
BK71	2	QUEEN POST TO TOP CHORD CONNECTION
BK73A	1	KING POST TO TOP CHORD CONNECTION
BK75AL	1	BOTTOM CHORD TO TOP CHORD CONNECTION
BK75AR	1	BOTTOM CHORD TO TOP CHORD CONNECTION
BK55	(1) SET OF 4	ANGLED RAIL BRACKET
BK56X	(1) SET OF 4	STRAIGHT RAIL BRACKET



1 COMPONENT ISOMETRIC

PLAN NO.:
A4.0

COMPONENT ISOMETRIC

SHEET NO.:

Whisper Creek

1857 Hwy 93 South
Hamilton, MT 59840
Ph. 877-289-9254
terrif@wclh.com

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PRELIMINARY PLAN SET

REVISIONS		
No.	By:	Date:

PROJECT NAME:
ASPEN GROVE HYBRID

OWNER:

ADDRESS:

DRAWING TITLE:
COMPONENT ISOMETRIC

PROJECT NO.:	DRAWN BY: JCF	
	CHECKED BY: MANAGER	
	DATE: 4/17/2023 7:56:26 AM	
	SHEET NO.: A4.0	