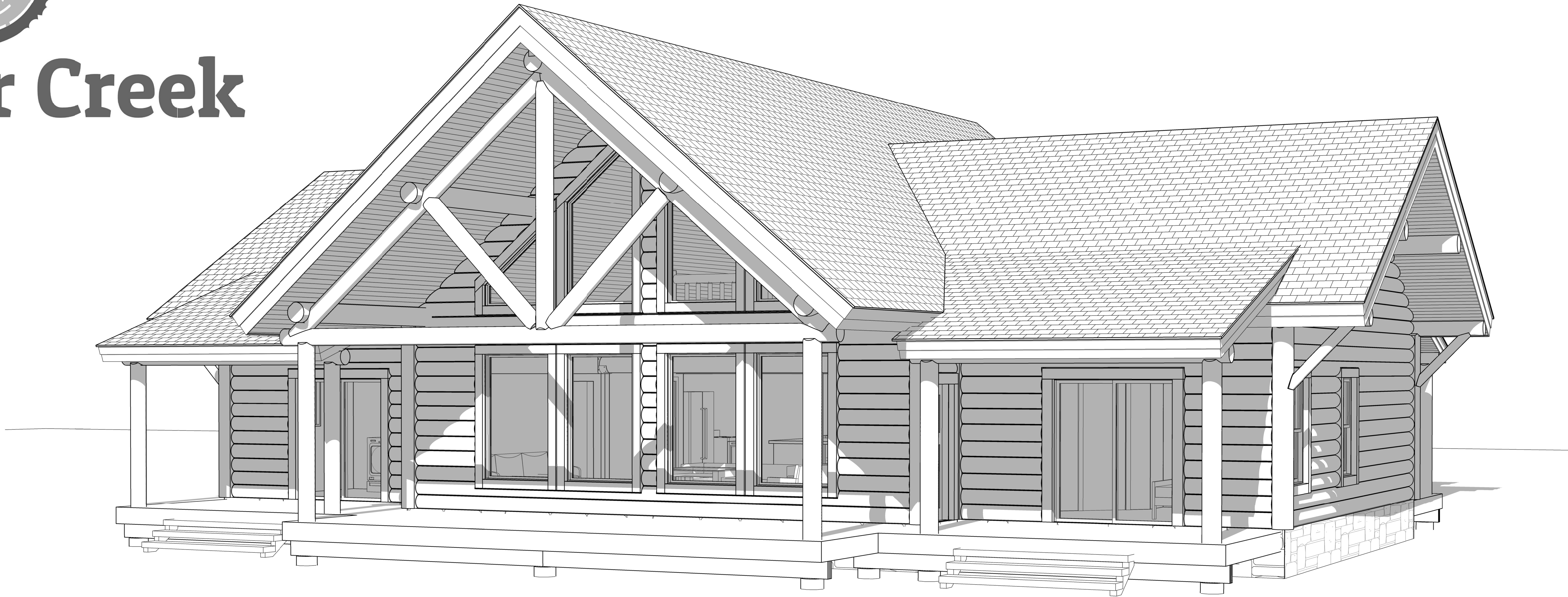




Whisper Creek



DESIGN CRITERIA

GOVERNING CODES

2015 INTERNATIONAL BUILDING CODE (IBC)
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	
	GROUND LOAD	62 PSF
	FLAT ROOF	52 PSF
	EXPOSURE FACTOR	Ce= 1.0
	THERMAL FACTOR	
	WARM	Ct= 1.1
	COLD	Ct= 1.1
	IMPORTANCE FACTOR	Is= 1.0

WIND DESIGN

ULTIMATE SPEED	90MPH
IMPORTANCE FACTOR	Iw= 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	C
-------------------------	---

FROST DEPTH

36"

SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

WCLH DESIGN
CRITERIA
A

ATTENTION:

1. SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO; IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES,).
2. FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
3. LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. LOCAL ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
4. MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. THE OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
5. SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

AREA SCHEDULE

NAME	AREA
MAIN FLOOR	2088 SF
LOFT	377 SF
TOTAL	2465 SF

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

SHEET LIST - PRELIMINARY PLANS

SHEET#	SHEET NAME
COVER	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	MAIN FLOOR PLAN
A1.1	LOFT FLOOR PLAN
A2.0	FRONT & RIGHT ELEVATION
A2.1	BACK & LEFT ELEVATION
A3.0	SCHEDULES
A4.0	COMPONENT ISOMETRIC

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR

- TRUSS CALCS BY TRUSS MANUFACTURER

SHEET TITLE:
COVER SHEET

PLAN NO.:

TBD

A0.0

SHEET NO.:



Whisper Creek

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PRELIMINARY PLAN SET

REVISIONS

No.	By:	Date:	

PROJECT NAME:

ASPEN GROVE
LOFTED HYBRID

OWNER:

ADDRESS:

DRAWING TITLE:

COVER SHEET

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

4/1/2019 1:29:19 PM

SHEET NO.:

A0.0

PLAN NO.:

TBD

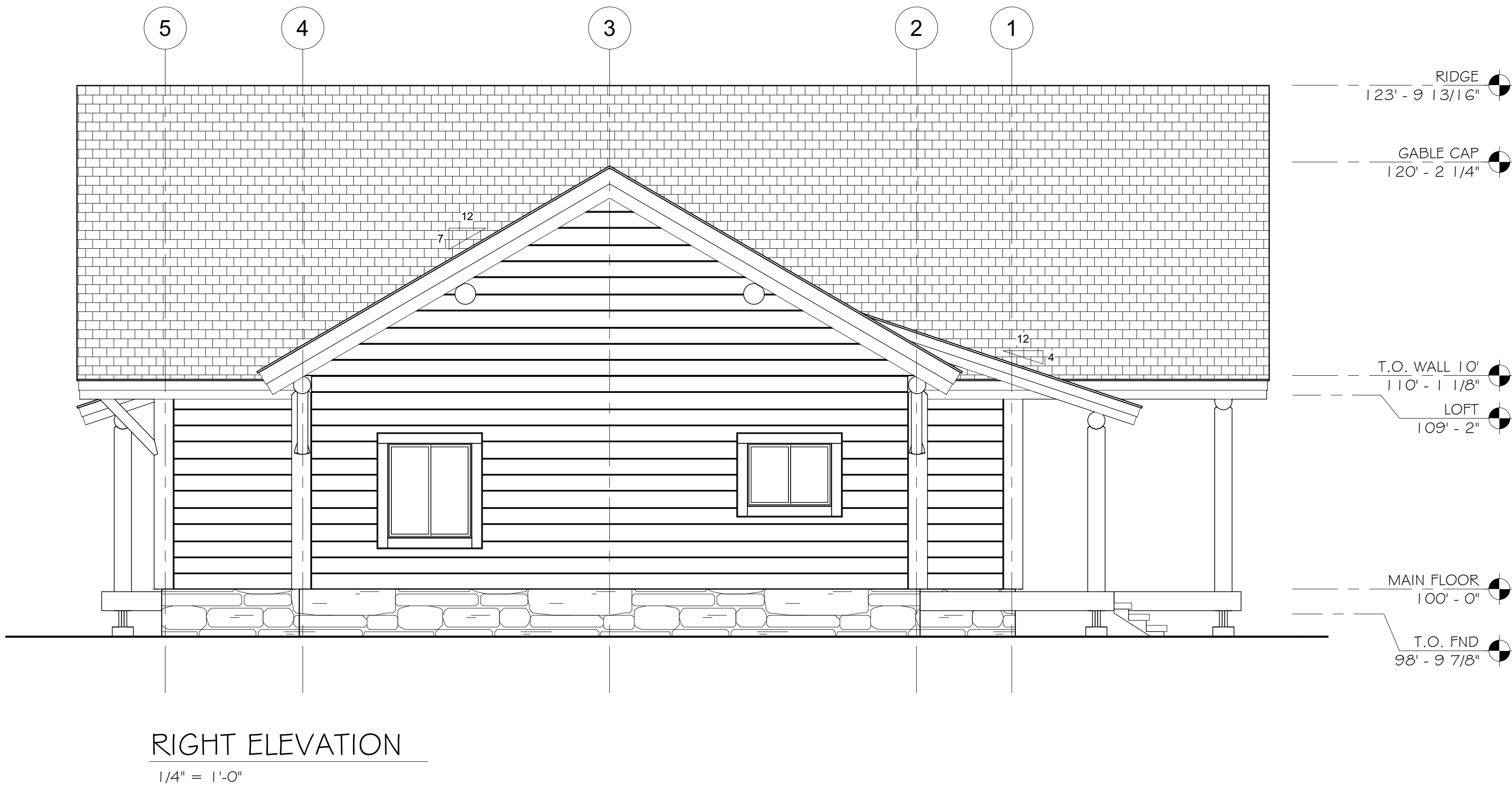
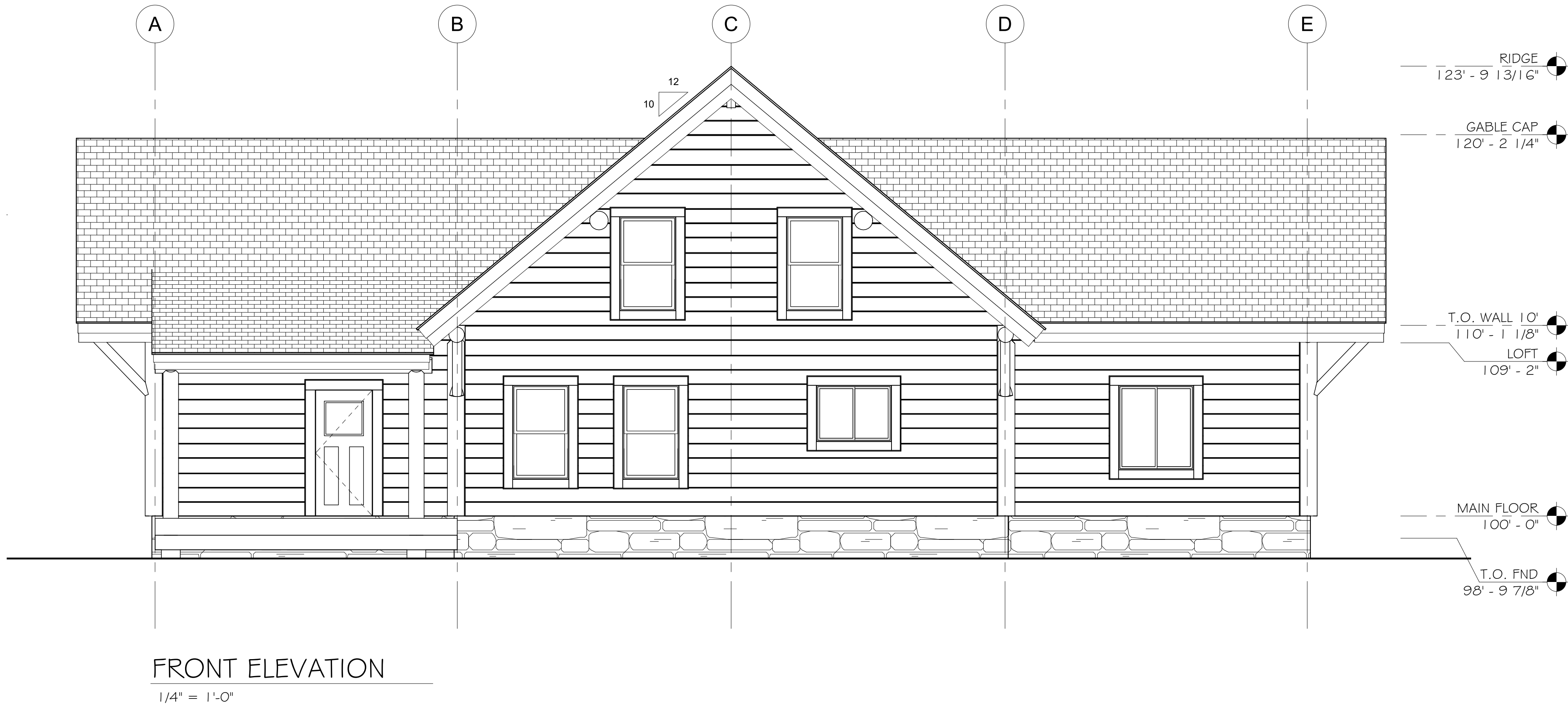
- $$1/4'' = 1'-0''$$

ELEVATION NOTES

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
2. MODIFICATIONS TO THE STRUCTURE MUST BE APPROVED BY THE A/EOR IN WRITING PRIOR TO MAKING ANY CHANGES. GRADES INDICATED ARE APPROXIMATE AND MAY BE MODIFIED SUBJECT TO FINAL SITE CONDITIONS. DRAINAGE AWAY FROM THE STRUCTURE MUST BE MAINTAINED.
3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD



SHEET TITLE

FRONT & RIGHT ELEVATION

SHEET NO.

A2.0

TBD



Whisper Creek

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PRELIMINARY PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:

ASPEN GROVE LOFTED HYBRID

OWNER:

ADDRESS:

DRAWING TITLE:

FRONT & RIGHT ELEVATION

PROJECT NO.:

TBD

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

4/1/2019 1:29:21 PM

SHEET NO.:

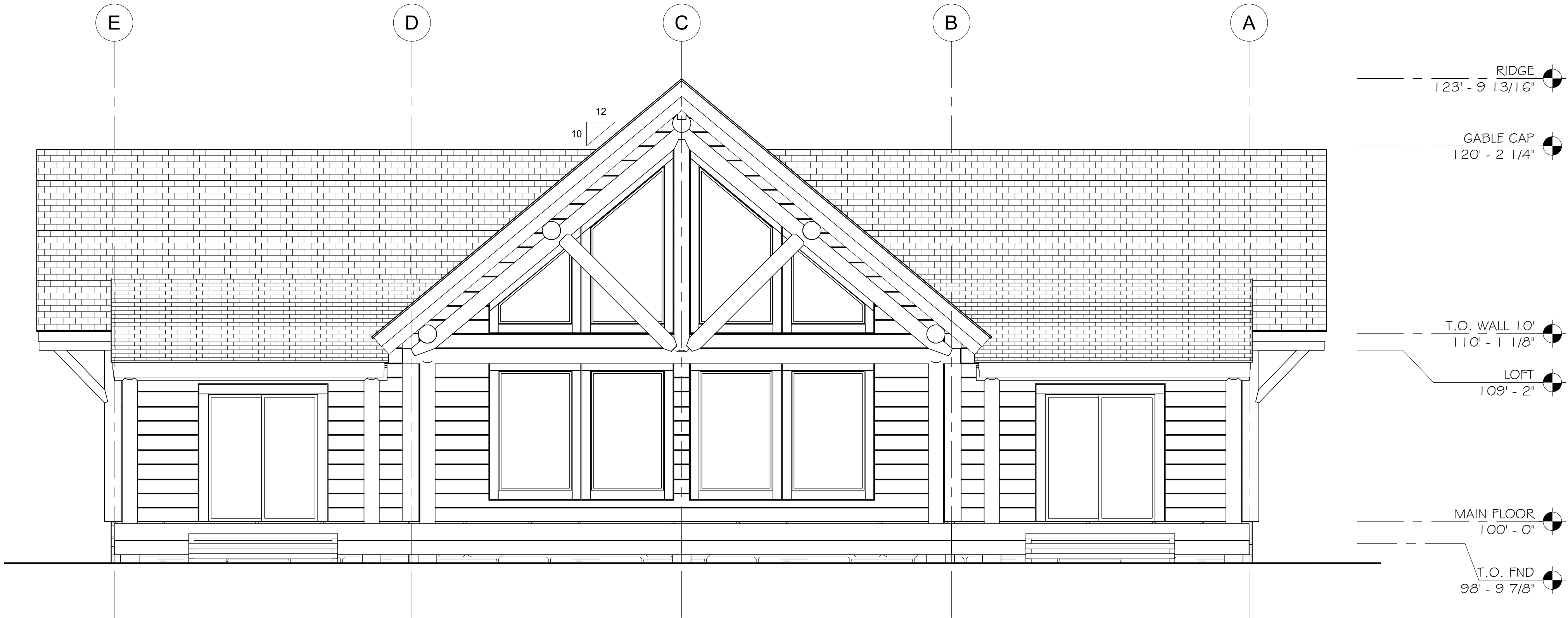
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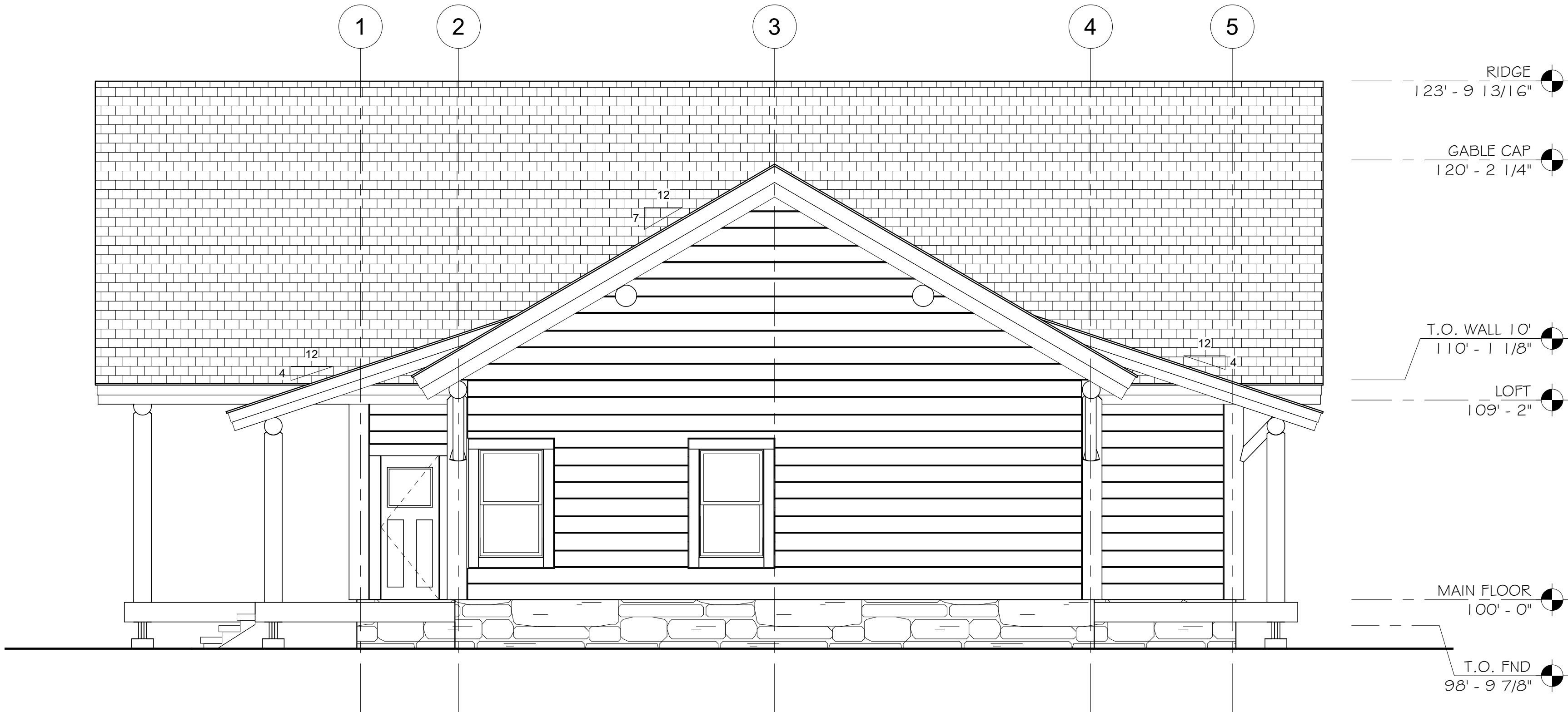
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BACK ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

BACK & LEFT
ELEVATION

PLAN NO.: TBD

A2.1



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PRELIMINARY
PLAN SET

REVISIONS

No.	By:	Date:

PROJECT NAME:

ASPEN GROVE
LOFTED HYBRID

OWNER:

ADDRESS:

DRAWING TITLE:

BACK & LEFT
ELEVATION

PROJECT NO.:

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE: 4/1/2019 1:29:22 PM

SHEET NO.:

A2.1

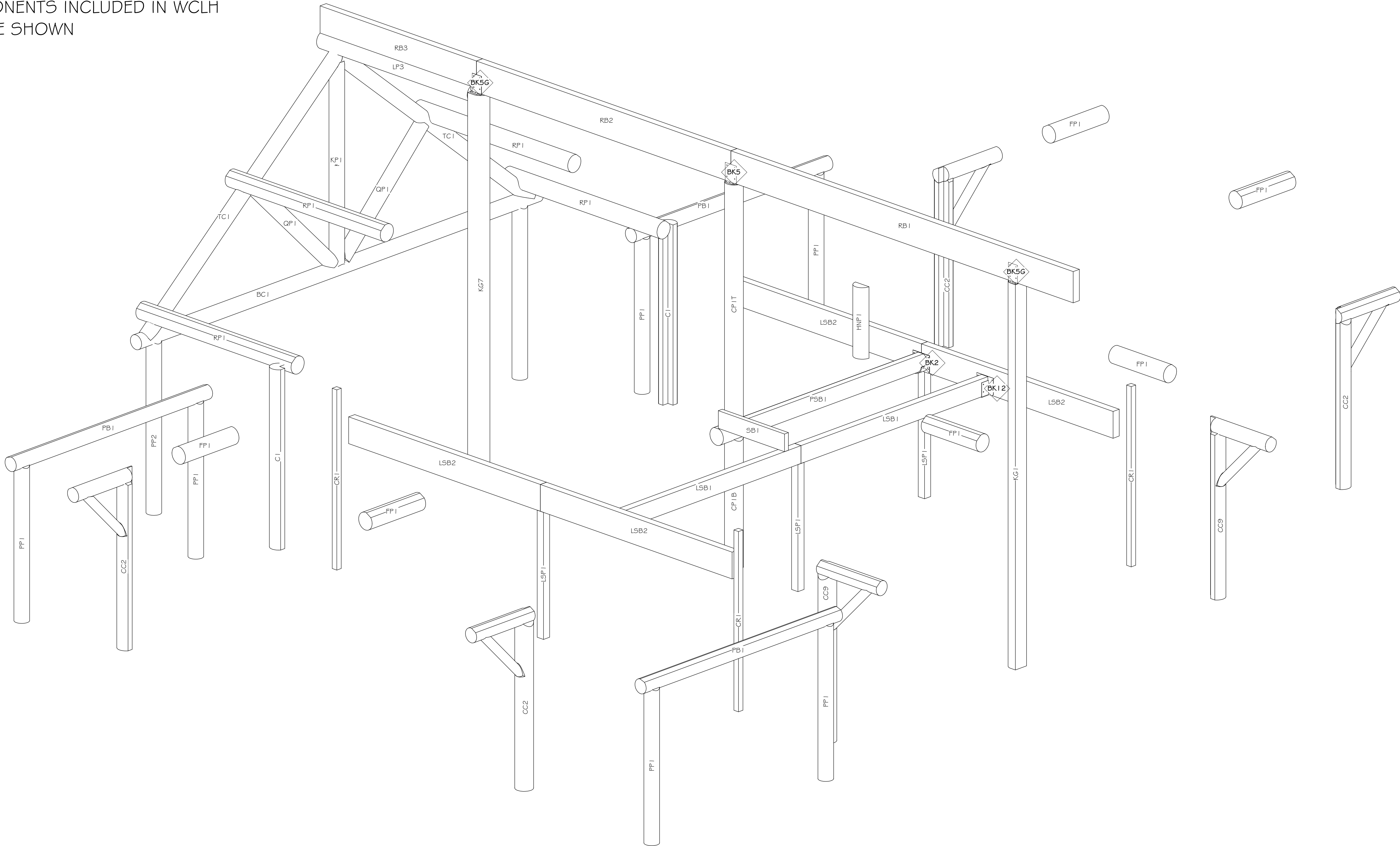
PLAN NO.: TBD

NOT FOR CONSTRUCTION

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
ATTACHMENT WALL CORNER			
CR1	4	10' - 1 1/8"	4x4 ROUGH SAWN TIMBER
CANTILEVER CORNER			
CC2	4	9' - 4 7/16"	12IN DIA LOG POST w/ 10IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CC9	2	9' - 3 13/16"	12IN DIA LOG POST w/ 10IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CENTER POST			
CP1B	1	7' - 3 3/4"	12IN DIA LOG POST w/ TOP NOTCH
CP1T	1	13' - 6 3/4"	12IN DIA LOG POST w/ BOTTOM NOTCH
CORNER POST			
C1	2	10' - 1 1/8"	12IN DIA POST w/ PIE CUT
HALF NEWEL POST			
HNP1	1	4' - 0"	12IN DIA HALF LOG POST
KING GABLE POST			
KG1	1	21' - 6 7/8"	12IN LOG POST W/ THREE FLATS
KG7	1	21' - 6 7/8"	14IN LOG POST W/ THREE FLATS
LOFT PURLIN			
LP3	1	11' - 0"	12IN DIA LOG BEAM w/ FLAT CUT
LOFT SUPPORT BEAM			
LSB1	2	13' - 1 1/2"	5 1/2" X 12" GLULAM BEAM
LSB2	4	14' - 0"	5 1/2" X 18" GLULAM BEAM

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
LOFT SUPPORT POST			
LSP1	3	7' - 1 3/8"	6X6 DIMENSIONAL LUMBER
PORCH BEAM			
PB1	3	14' - 8"	12" DIA w/ FLAT CUT
PORCH POST			
PP1	6	8' - 8 3/4"	10IN DIA TOP NOTCHED
PP2	2	9' - 7 3/4"	10IN DIA TOP NOTCHED
PURLIN SUPPORT BEAM			
P5B1	1	15' - 3"	12IN DIA LOG POST w/ TOP & BTM NOTCH
RIDGE BEAM			
RB1	1	25' - 0"	5 1/2" X 21" GLULAM BEAM
RB2	1	18' - 7"	5 1/2" X 21" GLULAM BEAM
RB3	1	11' - 5"	5 1/2" X 21" GLULAM BEAM
ROOF PURLIN			
RP1	4	11' - 4"	12IN DIA LOG BEAM w/ FLAT CUT
ROOF PURLIN - FAKE PURLIN			
FP1	2	4' - 0"	10IN DIA LOG BEAM w/ FLAT CUT
FP1	4	4' - 0"	10IN DIA LOG BEAM w/ FLAT CUT
W TRUSS			
BC1	1	30' - 0"	10IN DIA LOG BOTTOM CHORD
KP1	1	11' - 5"	10IN DIA LOG KING POST
QP1	2	8' - 5"	10IN DIA LOG QUEEN POST
TC1	2	19' - 0 1/4"	10IN DIA LOG TOP CHORD

BRACKET SCHEDULE		
BRACKET #	COUNT	DESCRIPTION
BK2	2	LOFT PURLIN SADDLE
BK5	1	CENTER POST TO RIDGE BEAM
BK5G	2	KING GABLE POST TO RIDGE BEAM
BK12	2	LOFT SUPPORT BEAM SADDLE



ONLY COMPONENTS INCLUDED IN WCLH PACKAGE ARE SHOWN

PLAN NO.:TBD

SHEET TITLE:COMPONENT ISOMETRIC

SHEET NO.:A4.0



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PRELIMINARY
PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:
ASPEN GROVE
LOFTED HYBRID

OWNER:

ADDRESS:

DRAWING TITLE:
COMPONENT
ISOMETRIC

PLAN NO.: TBD	PROJECT NO.:
	DRAWN BY: JCF
	CHECKED BY: MANAGER
	DATE: 4/1/2019 1:29:22 PM
	SHEET NO.: A4.0

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