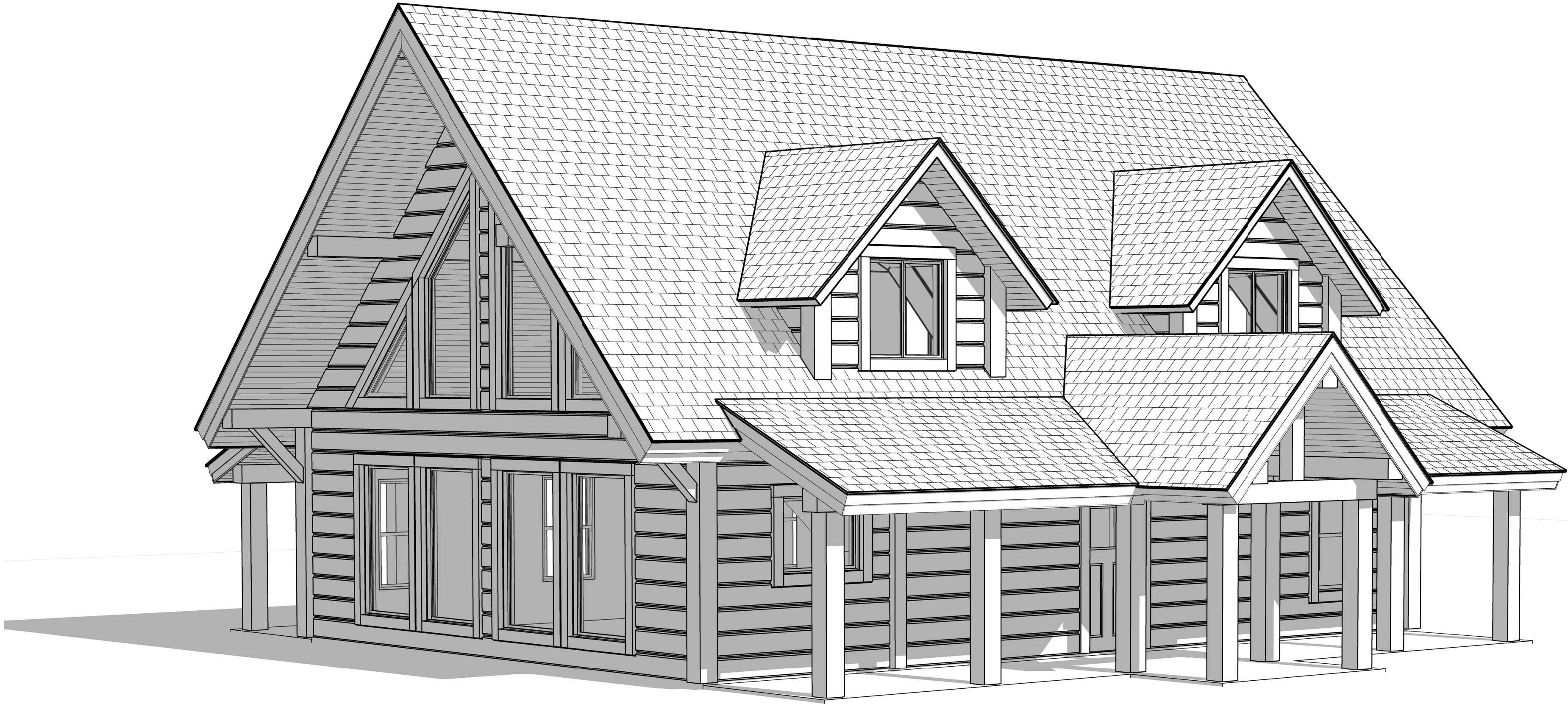




Whisper Creek



NOT FOR CONSTRUCTION

DESIGN CRITERIA

GOVERNING CODES

2006 INTERNATIONAL RESIDENTIAL CODE (IRC)
ASCE/SEI 7-05 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	
	GROUND LOAD	92-105 PSF
	FLAT ROOF	92-105 PSF
	EXPOSURE FACTOR	Ce= 1.0
	THERMAL FACTOR	WARM Ct= 1.1 COLD Ct= 1.1 Is= 1.0
	IMPORTANCE FACTOR	

WIND DESIGN

BASIC SPEED	90MPH
IMPORTANCE FACTOR	Iw= 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	D1
-------------------------	----

FROST DEPTH

PER LOCAL CONDITIONS - 36" MIN

SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

WCLH DESIGN CRITERIA

C

ATTENTION:

1. SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO: IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).

2. FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

3. LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. local ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.

4. MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR AEOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. the OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONTRCTION.

5. SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE AEOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

SHEET LIST

SHEET NUMBER	SHEET NAME
A0.0	COVER SHEET
A1.0	MAIN FLOOR PLAN
A1.2	LOFT FLOOR PLAN
A2.0	FRONT & RIGHT ELEVATION
A2.1	BACK & LEFT ELEVATION
A4.0	COMPONENT ISOMETRIC
A3.0	SCHEDULES

AREA SCHEDULE

LEVEL	AREA
MAIN FLOOR	1160 SF
LOFT	474 SF
TOTAL AREA	1634 SF

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR

TRUSS CALCS BY TRUSS MANUFACTURER

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

SHEET TITLE
COVER SHEET

PLAN NO.:

Project Number

SHEET NO.:

A0.0

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PRELIMINARY PLAN SET

REVISIONS:

No.	By:	Date:	

PROJECT NAME:

BIG HORN

OWNER:

ADDRESS:

DRAWING TITLE:

COVER SHEET

PROJECT NO.:

Project Number

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

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SHEET NO.:

A0.0

PLAN NO.:

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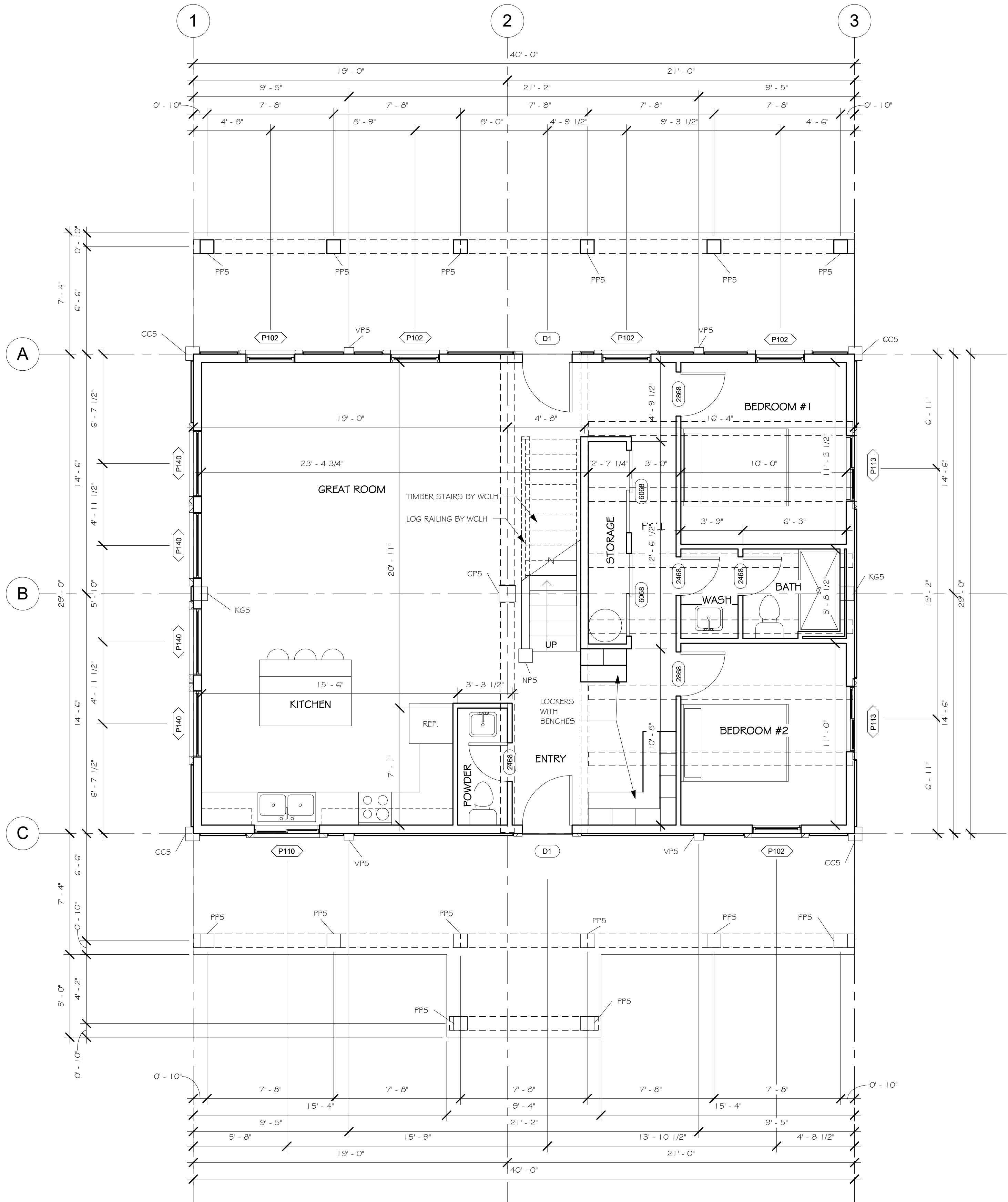
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FLOOR PLAN NOTES

1. CONTRACTOR WILL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD



MAIN FLOOR

1/4" = 1'-0"

MAIN FLOOR PLAN

Project Number
A1.0

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PRELIMINARY
PLAN SET

REVISIONS:		
No.	By:	Date:

PROJECT NAME:
BIG HORN

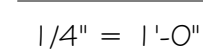
OWNER:

ADDRESS:

DRAWING TITLE:
MAIN FLOOR PLAN

Project Number	PROJECT NO.:	
	DRAWN BY:	JCF
	CHECKED BY:	MANAGER
	DATE:	9/14/2015 10:48:13 AM
	SHEET NO.:	A1.0

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|-------|--|
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Project Number	PROJECT NO.:	
	DRAWN BY:	JCF
	CHECKED BY:	MANAGER
	DATE:	9/14/2015 10:48:13 AM
	SHEET NO.:	A1.2

ELEVATION NOTES

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
2. MODIFICATIONS TO THE STRUCTURE MUST BE APPROVED BY THE A/EOR IN WRITING PRIOR TO MAKING ANY CHANGES. GRADES INDICATED ARE APPROXIMATE AND MAY BE MODIFIED SUBJECT TO FINAL SITE CONDITIONS. DRAINAGE AWAY FROM THE STRUCTURE MUST BE MAINTAINED.
3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

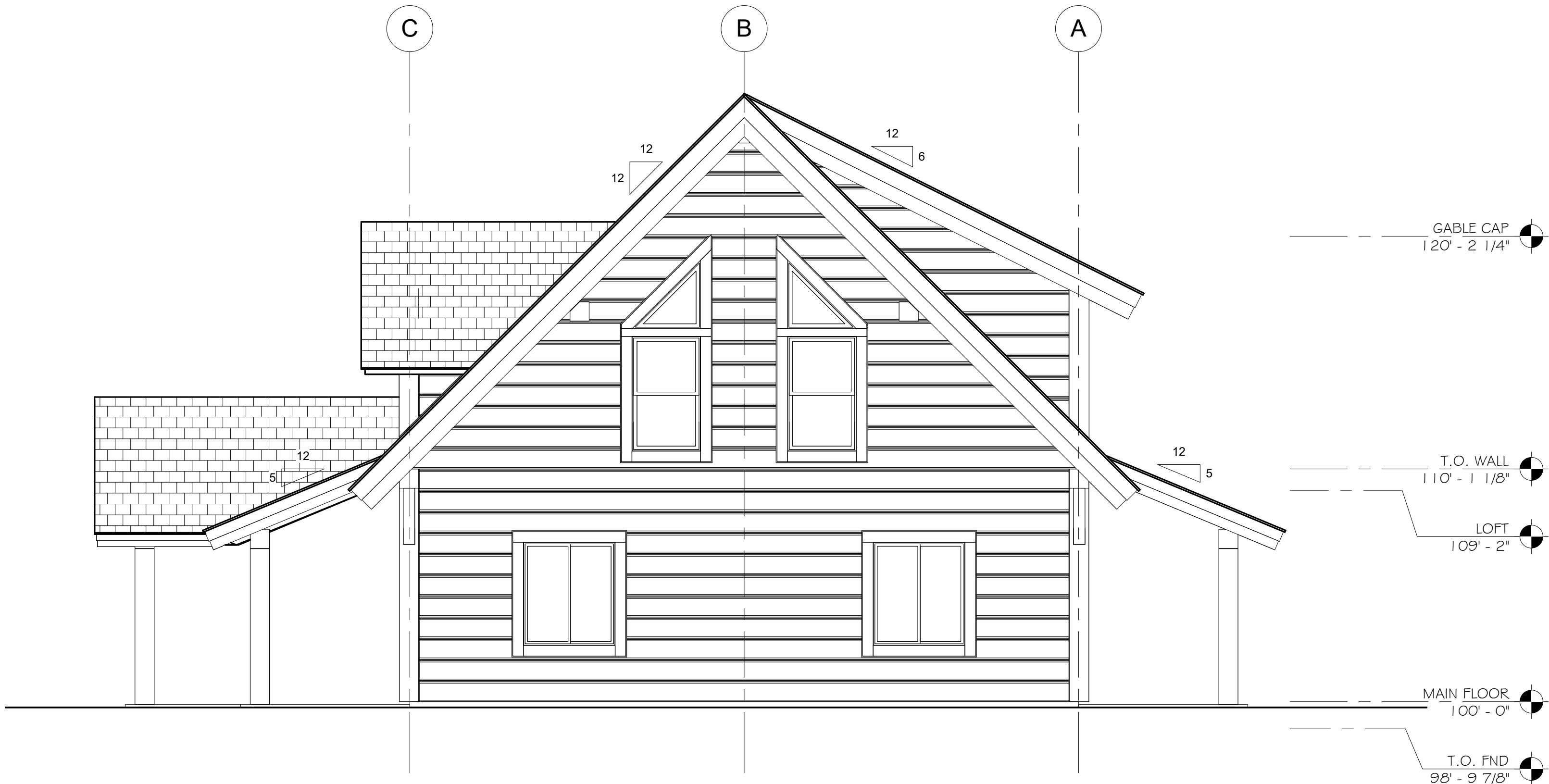
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FRONT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

PLAN NO. Project Number

SHEET NO. **A2.0**

SHEET TITLE FRONT & RIGHT ELEVATION

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PRELIMINARY PLAN SET

REVISIONS:			
No.	By:	Date:	

PROJECT NAME:

BIG HORN

OWNER:

ADDRESS:

DRAWING TITLE:

FRONT & RIGHT ELEVATION

PROJECT NO.:

Project Number

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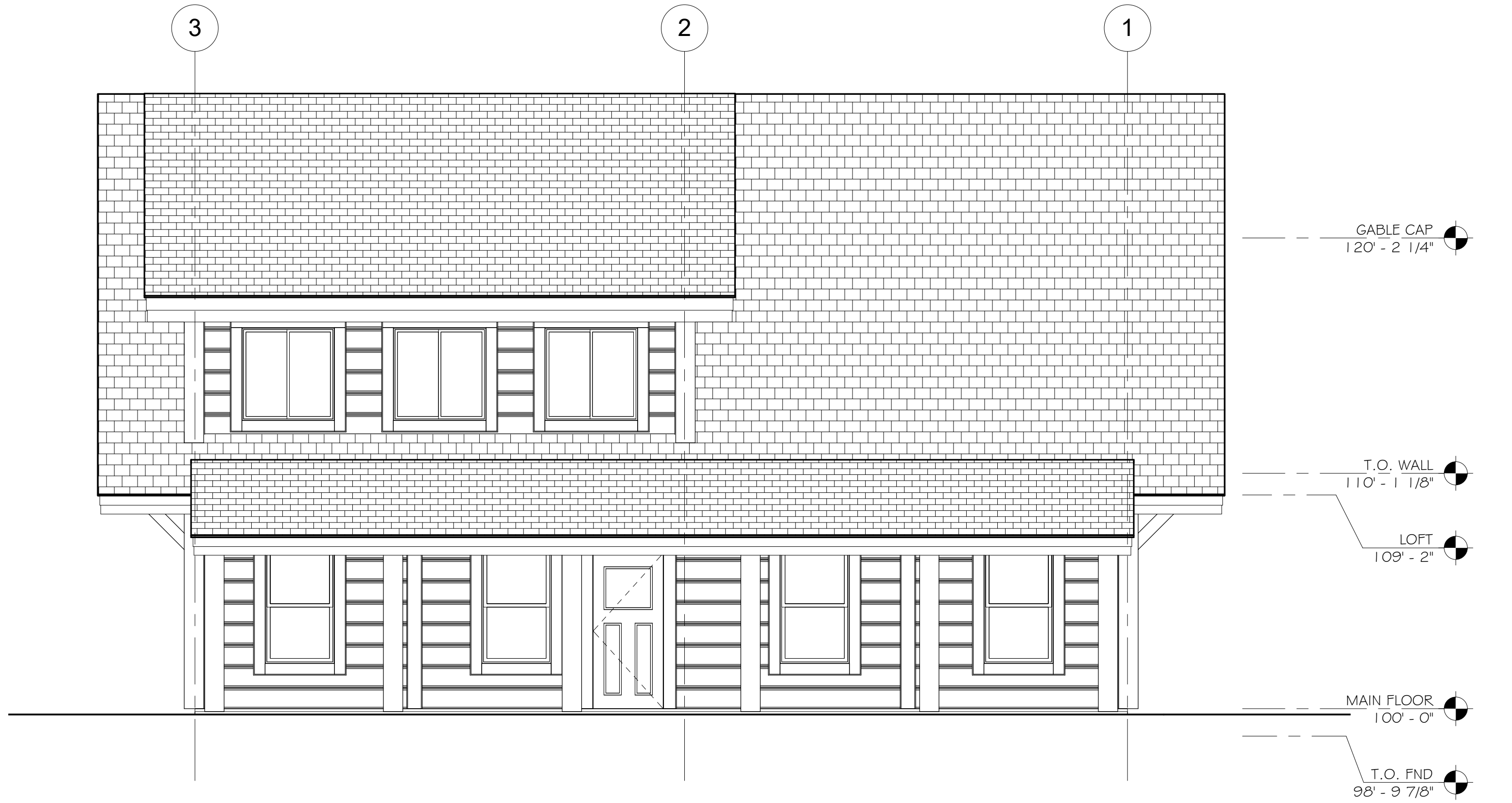
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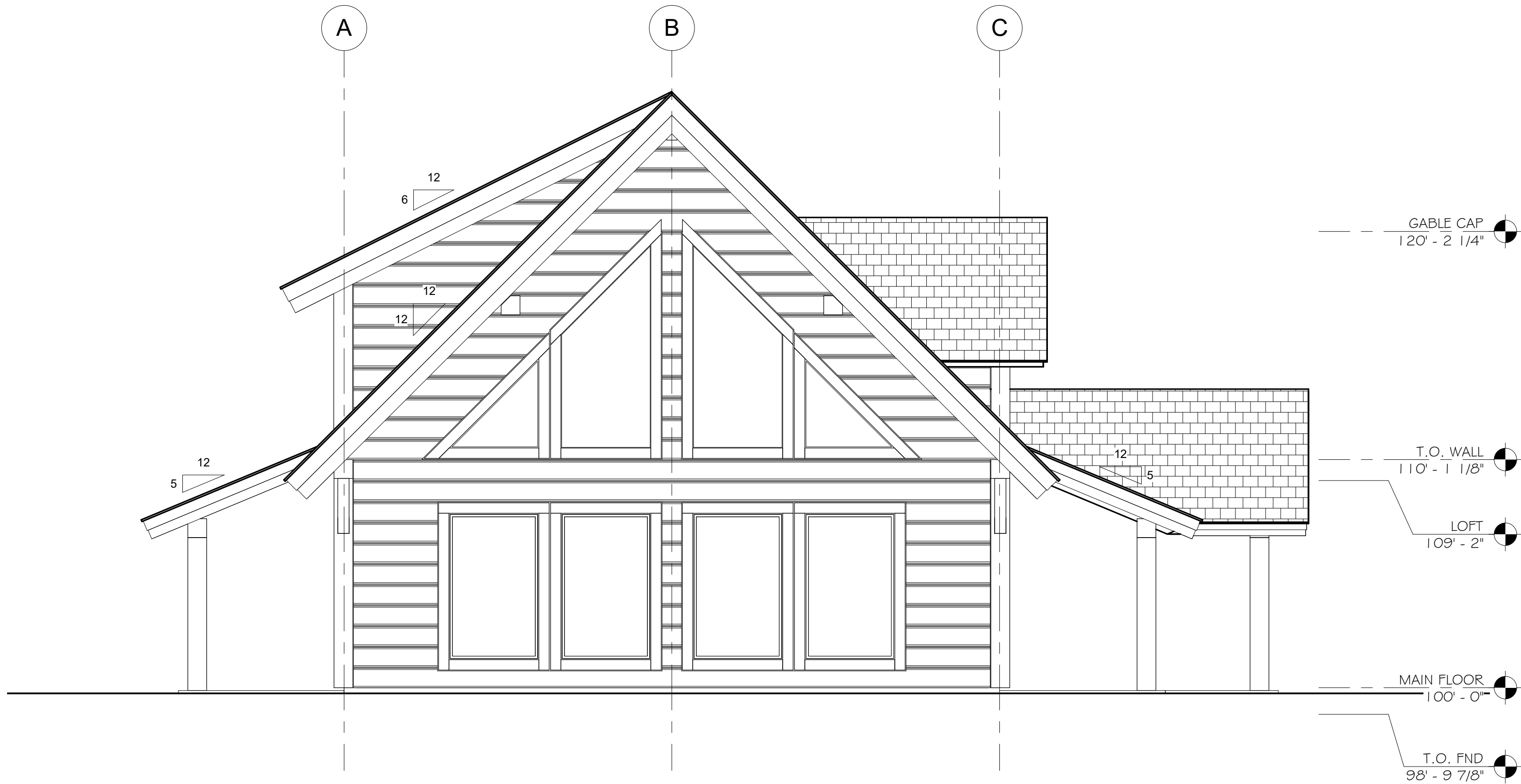
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BACK ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

SHEET TITLE BACK & LEFT ELEVATION	PLAN NO.: Project Number
	SHEET NO.: A2.1

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PRELIMINARY PLAN SET

REVISIONS:			
No.	By:	Date:	

PROJECT NAME: BIG HORN

OWNER:

ADDRESS:

DRAWING TITLE: BACK & LEFT ELEVATION
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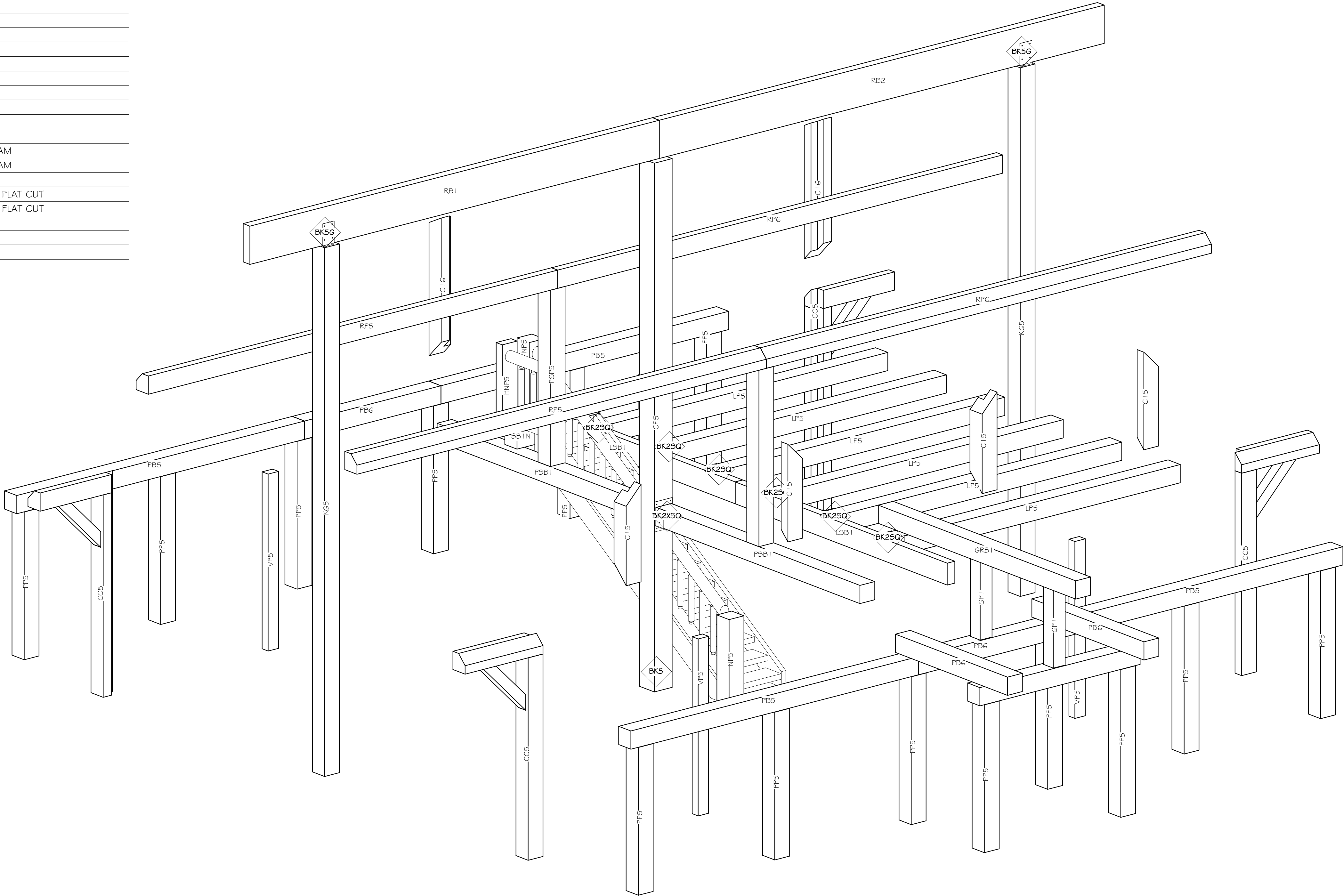
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	SHEET NO.: A2.1

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NOT FOR CONSTRUCTION

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
CANTILEVER CORNER			
CC5	4	9' - 3 1/8"	10X10 TIMBER POST W/ PIE CUT AND 8X8 ARM
CENTER POST			
CP5	1	24' - 2 1/4"	12X12 TIMBER POST
CORNER POST			
C15	4	4' - 5 19/32"	10X10 TIMBER POST W/ PIE CUT
C16	2	6' - 6 3/16"	10X10 TIMBER POST W/ PIE CUT
GABLE ENTRY			
GP1	2	3' - 7 5/32"	8X8 TIMBER POST
GB1	1	9' - 0"	10X10 TIMBER BEAM
GRB1	1	13' - 6"	10X10 TIMBER BEAM
HALF NEWEL POST			
HNP5	1	4' - 0"	5X10 TIMBER POST
KNIG GABLE POST			
KG5	2	24' - 2 1/4"	10X10 TIMBER POST
LOFT PURLIN			
LP5	6	16' - 0"	10X10 TIMBER BEAM
LOFT SUPPORT BEAMS			
LSB1	2	14' - 6"	5 1/2" X 12" GLULAM BEAM
NEWEL POST			
NP5	2	4' - 0"	10X10 TIMBER POST
PORCH BEAM			
PB6	4	7' - 8"	10X10 TIMBER BEAM
PB5	4	16' - 2"	10X10 TIMBER BEAM
PORCH POST			
PP5	14	6' - 9 1/8"	10X10 TIMBER POST
PURLIN SUPPORT BEAM			
PSB1	2	13' - 11"	10X10 TIMBER BEAM
PURLIN SUPPORT POST			
PSP5	2	8' - 0 27/32"	10X10 TIMBER POST
RIDGE BEAM			
RB2	2	25' - 0"	5 1/2" X 21" GLULAM BEAM
RB1	1	23' - 0"	5 1/2" X 21" GLULAM BEAM
ROOF PURLIN			
RP6	2	25' - 0"	10X10 TIMBER BEAM W/ FLAT CUT
RP5	2	23' - 0"	10X10 TIMBER BEAM W/ FLAT CUT
STAIR BLOCKING			
SB1N	1	4' - 8"	10X8 TIMBER BEAM
VERTICAL POSTS			
VP5	4	8' - 1 1/8"	4X7 TIMBER POST

BRACKET SCHEDULE		
ITEM #	COUNT	DESCRIPTION
BK25Q	6	TIMBER LOFT PURLIN SADDLE
BK2X5Q	2	TIMBER LOFT SUPPORT BEAM SADDLE
BK5	1	CENTER POST TO RIDGE BEAM
BK5G	2	KING GABLE POST TO RIDGE BEAM



COMPONENT ISOMETRIC

COMPONENT ISOMETRIC

Project Number

A4.0

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PRELIMINARY PLAN SET

REVISIONS:		
No.	By:	Date:

PROJECT NAME:

BIG HORN

OWNER:

ADDRESS:

DRAWING TITLE:

COMPONENT ISOMETRIC

Project Number

PROJECT NO.:

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SHEET NO.: A4.0