



Whisper Creek



NOT FOR CONSTRUCTION

DESIGN CRITERIA

GOVERNING CODES

2012 INTERNATIONAL BUILDING CODE (IBC)
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	
	GROUND LOAD	62 PSF
	FLAT ROOF	52 PSF
	EXPOSURE FACTOR	Ce= 1.0
	THERMAL FACTOR	Ct= 1.1
	IMPORTANCE FACTOR	Is= 1.0

WIND DESIGN

ULTIMATE SPEED	90MPH
IMPORTANCE FACTOR	Iw= 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	C
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FROST DEPTH

	13"
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SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

WCLH DESIGN
CRITERIA
A

ATTENTION:

1. SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER/CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO: IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
2. FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
3. LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. local ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
4. MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. the OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
5. SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

SHEET LIST - PRELIMINARY PLANS	
SHEET#	SHEET NAME
A4.0	COMPONENT ISOMETRIC COVER
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	MAIN FLOOR PLAN
A2.0	ELEVATIONS
A3.0	SCHEDULES
AREA SCHEDULE	
NAME	AREA
LIVING	
MAIN FLOOR	1 624 SF
PORCH	
PORCH	293 SF
PORCH	1 17 SF
TOTAL	2035 SF

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR
TRUSS CALCS BY TRUSS MANUFACTURER

SHEET TITLE
COVER SHEET

PLAN NO.:

TBD

SHEET NO.:

A0.0

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THESE DESIGNS AND DETAILS ARE BASED ON MANY YEARS OF CONSTRUCTION, DESIGN, AND ENGINEERING PRACTICE IN NUMEROUS DIVERSE JURISDICTIONS. THE PURPOSE IS TO PROVIDE A BASIS FOR THE DESIGNS INCORPORATED IN WHISPER CREEK LOG HOMES (WCLH). HOWEVER, IT IS THE RESPONSIBILITY OF THE OWNER TO CONSULT WITH ARCHITECT OR ENGINEER OF RECORD (E.O.R.) TO REVIEW AND VERIFY ANY AND ALL OF THE ASSUMPTIONS MADE AND DESIGNS PRESENTED. WCLH MAKES NO WARRANTY OR GUARANTEE AS TO THE FINAL SITE SPECIFIC APPLICABILITY OF THE DESIGN. ANY AND ALL PROPOSED CHANGES BY THE E.O.R. SHALL BE COORDINATED WITH WCLH. ALL CHANGES MUST BE APPROVED IN WRITING BY WCLH. IF APPROVED, ALL CHANGES WILL RESULT IN ADDITIONAL COSTS AND MAY REQUIRE MODIFICATIONS TO THE PLANS AND WALLS.

PRELIMINARY PLAN SET

REVISIONS:

No.	By:	Date:	

PROJECT NAME:

WILLOW CREEK

OWNER:

ADDRESS:

DRAWING TITLE:

COVER SHEET

PROJECT NO.:

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE: 5/9/2016 10:45:38 AM

SHEET NO.:

A0.0

PLAN NO.:

TBD

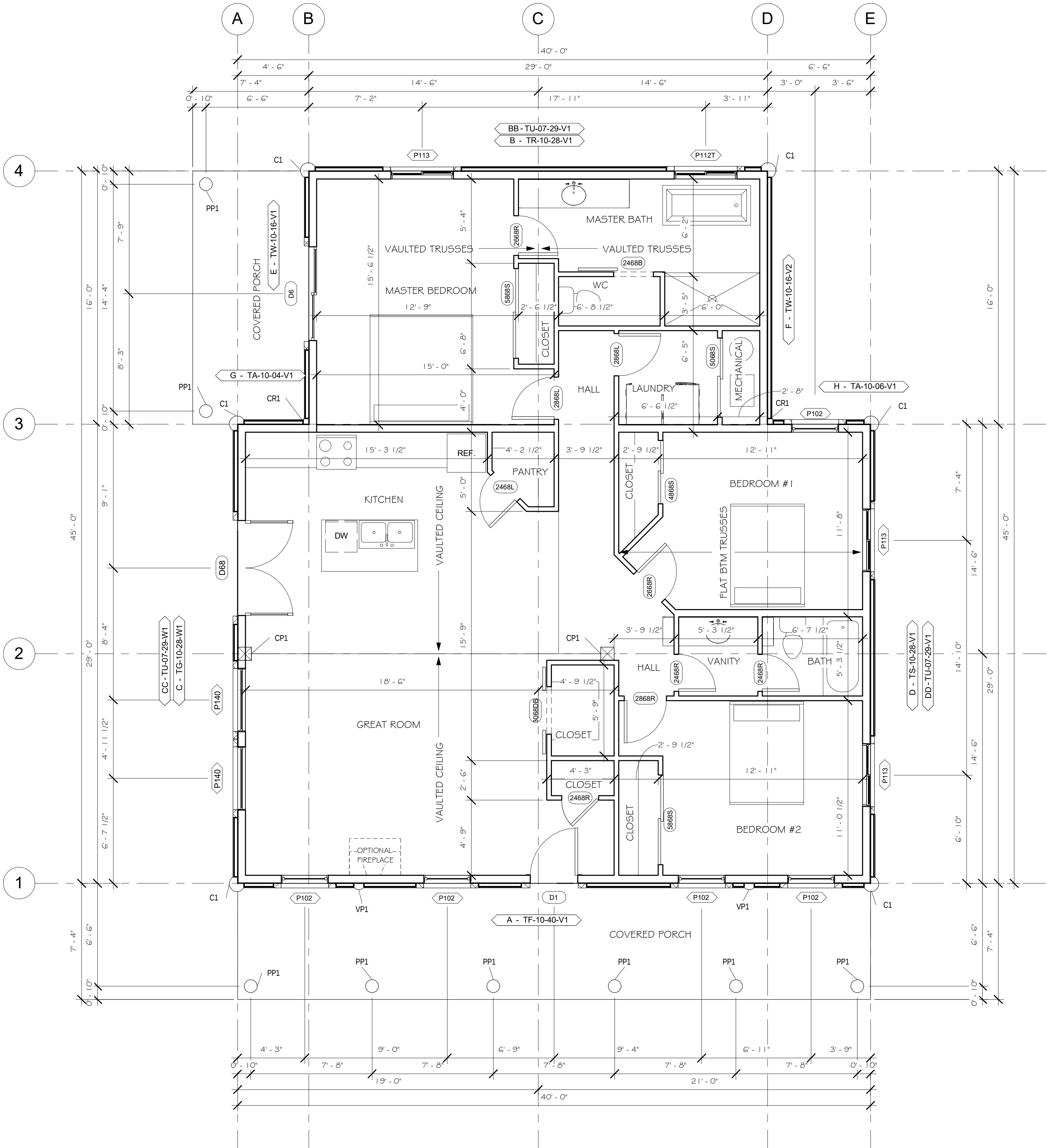
NOT FOR CONSTRUCTION

FLOOR PLAN NOTES

1. CONTRACTOR WILL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD



MAIN FLOOR PLAN

1/4" = 1'-0"

SHEET TITLE
MAIN FLOOR PLAN

PLAN NO.:
A1.0

SHEET NO.:
TBD

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PLAN SET**

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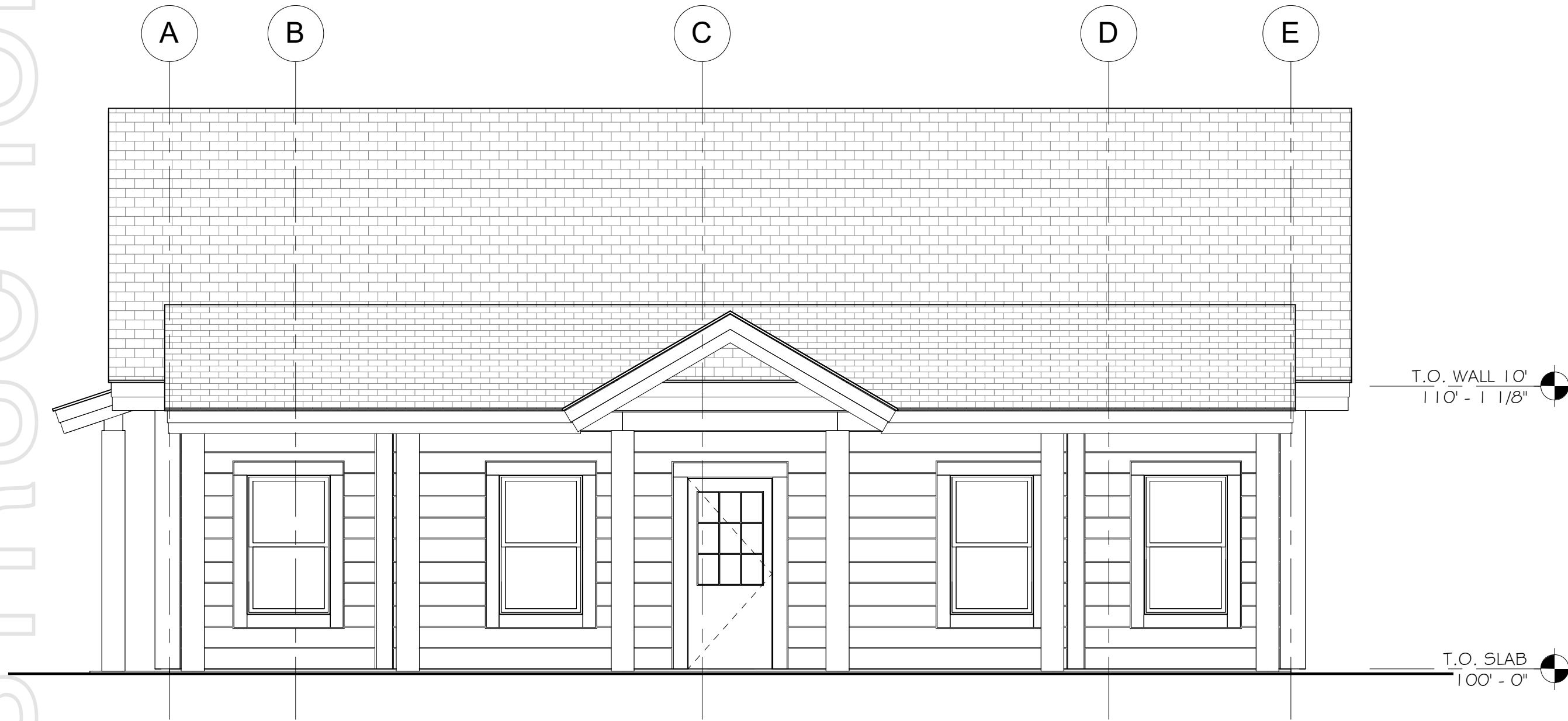
OWNER:

ADDRESS:

DRAWING TITLE:
MAIN FLOOR PLAN

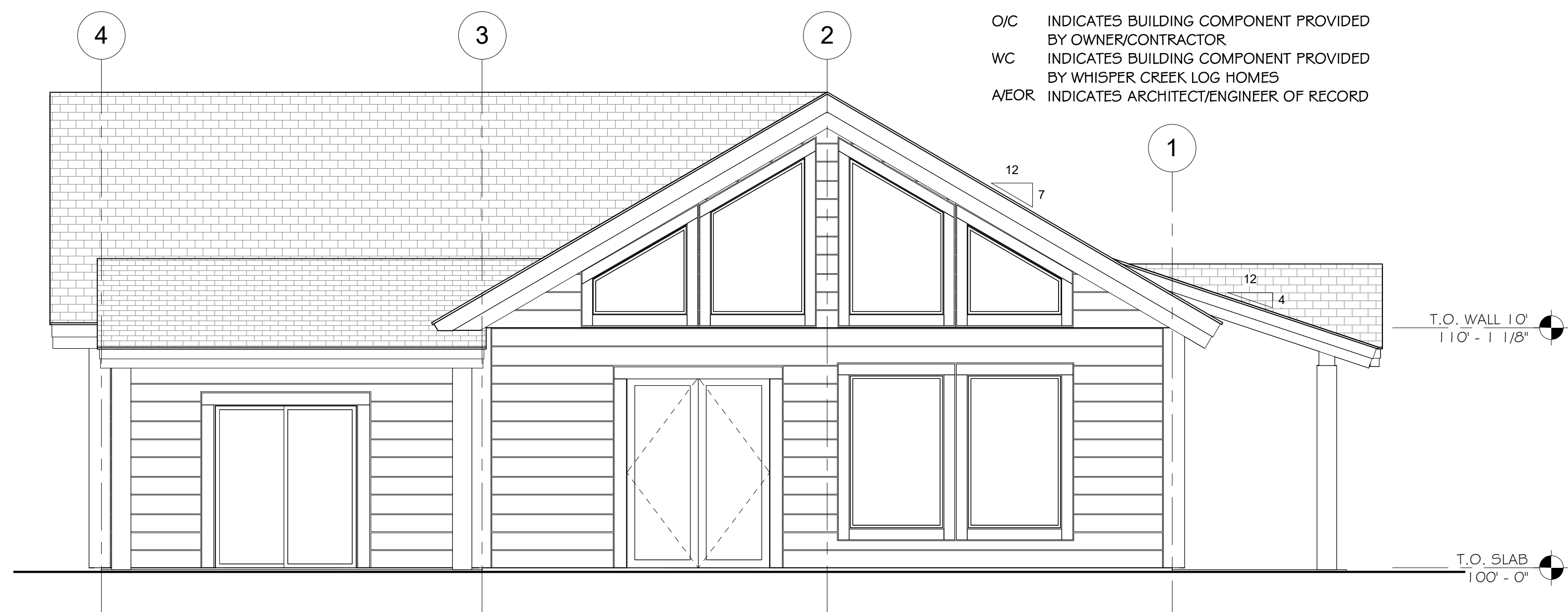
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	CHECKED BY: MANAGER
	DATE: 5/9/2016 10:45:38 AM
	SHEET NO.: A1.0

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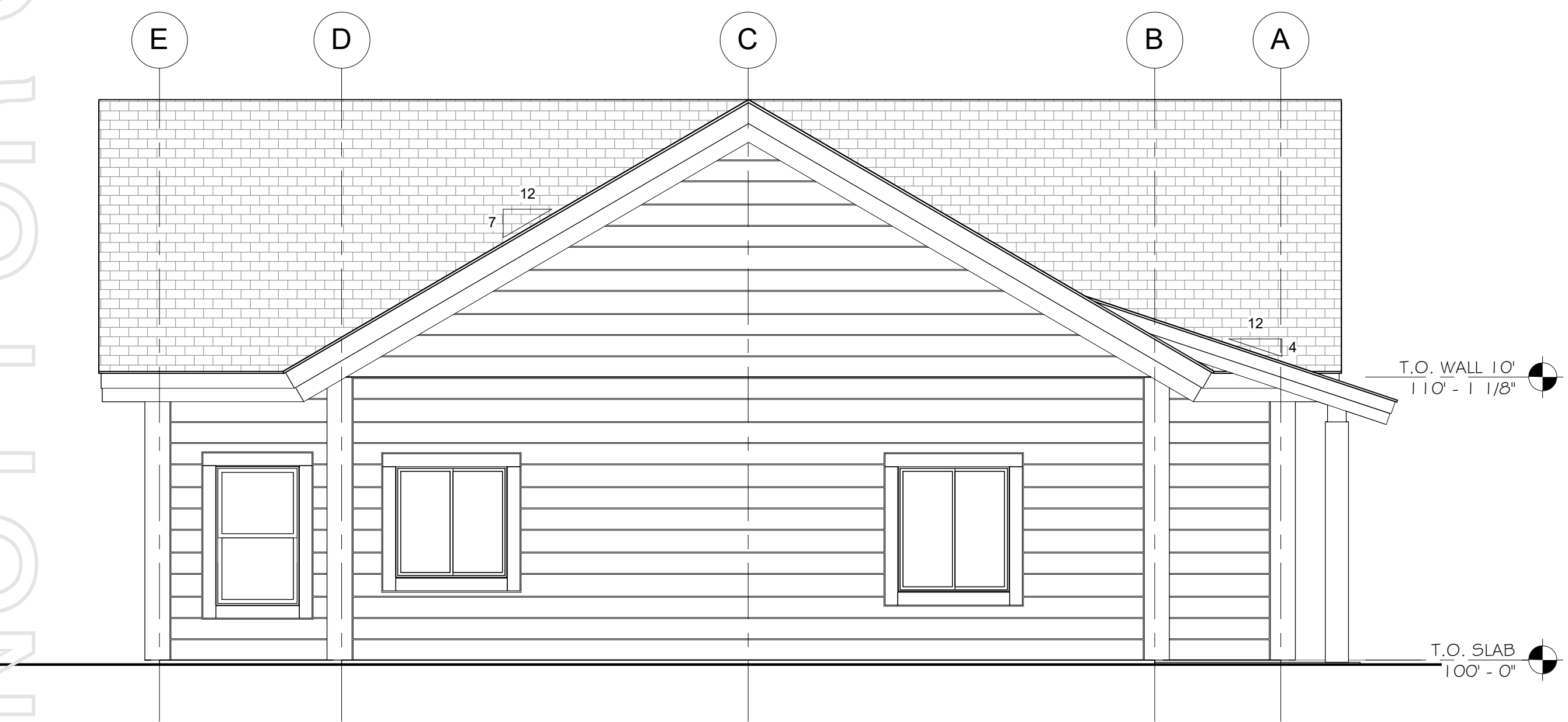
FRONT ELEVATION

1/4" = 1'-0"



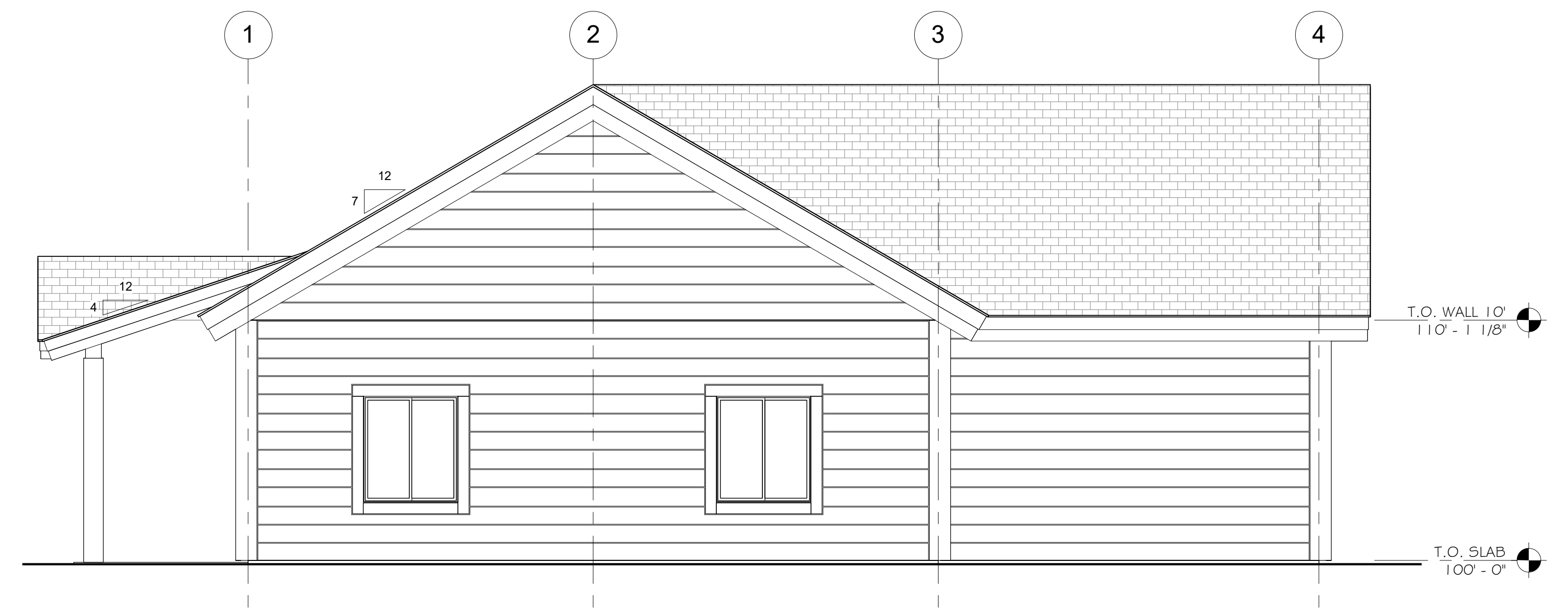
LEFT ELEVATION

1/4" = 1'-0"



BACK ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

ELEVATION NOTES

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
2. MODIFICATIONS TO THE STRUCTURE MUST BE APPROVED BY THE A/EOR IN WRITING PRIOR TO MAKING ANY CHANGES. GRADES INDICATED ARE APPROXIMATE AND MAY BE MODIFIED SUBJECT TO FINAL SITE CONDITIONS. DRAINAGE AWAY FROM THE STRUCTURE MUST BE MAINTAINED.
3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

ABBREVIATIONS

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ELEVATIONS

PLAN NO.:

TBD

A2.0

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DRAWING TITLE:

ELEVATIONS

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

5/9/2016 10:45:39 AM

SHEET NO.:

A2.0

PLAN NO.:

TBD

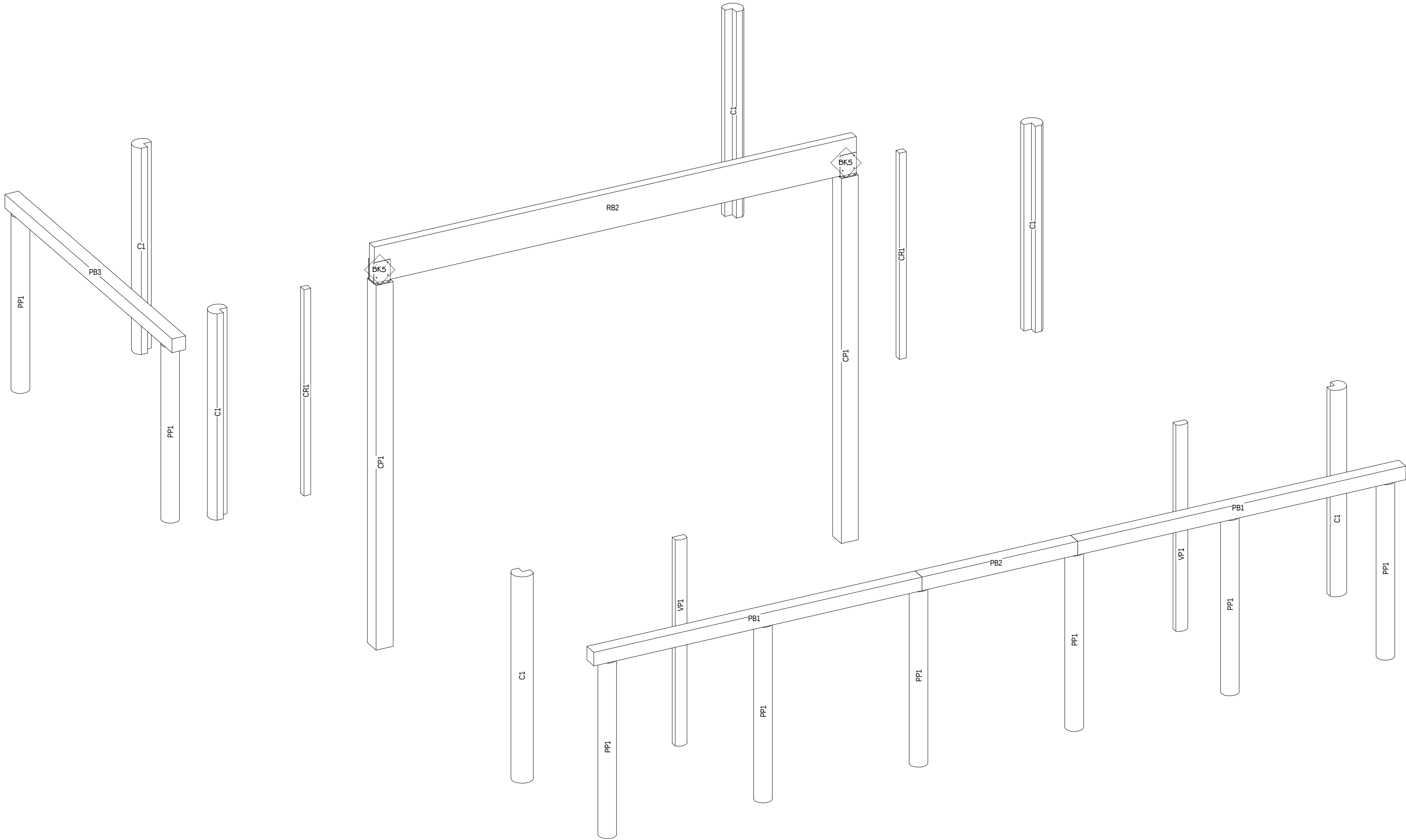
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COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
ATTACHMENT WALL CORNER			
CR.1	2	10' - 1 1/8"	4x4 ROUGH SAWN TIMBER
CENTER POST			
CP.1	2	17' - 10 3/16"	10X10 TIMBER POST
CORNER POST			
C.1	6	10' - 1 1/8"	12IN DIA POST w/ PIE CUT
PORCH BEAM			
PB.1	2	16' - 2"	8X8 TIMBER BEAM
PB.2	1	7' - 8"	8X8 TIMBER BEAM
PB.3	1	16' - 0"	8X8 TIMBER BEAM
PORCH POST			
PP.1	8	8' - 7"	10IN DIA LOG POST
RIDGE BEAM			
RB.2	1	23' - 9"	5 1/2" X 21" GLULAM BEAM
VERTICAL POSTS			
VP.1	2	10' - 1 1/8"	9IN DIA LOG POST W/ THREE FLATS

BRACKET SCHEDULE		
BRACKET #	COUNT	DESCRIPTION
BK.5	2	CENTER POST TO RIDGE BEAM



COMPONENT ISOMETRIC

SHEET TITLE
COMPONENT ISOMETRIC

PLAN NO.:
TBD

SHEET NO.:
A4.0

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PROJECT NO.: TBD	DRAWN BY: JCF	
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	DATE: 5/9/2016 10:45:40 AM	
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