

NOT FOR CONSTRUCTION



# Whisper Creek



## DESIGN CRITERIA GOVERNING CODES

2018 INTERNATIONAL BUILDING CODE (IBC)  
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

### LOADINGS

|       |                   |         |
|-------|-------------------|---------|
| FLOOR | DEAD LOAD         | 12 PSF  |
|       | LIVE LOAD         | 40 PSF  |
| ROOF  | DEAD LOAD         | 15 PSF  |
|       | LIVE (SNOW) LOAD  |         |
|       | GROUND LOAD       | 62 PSF  |
|       | FLAT ROOF         | 52 PSF  |
|       | EXPOSURE FACTOR   | Ce= 1.0 |
|       | THERMAL FACTOR    |         |
|       | WARM              | Ct= 1.1 |
|       | COLD              | Ct= 1.1 |
|       | IMPORTANCE FACTOR | Is= 1.0 |

### WIND DESIGN

|                   |         |
|-------------------|---------|
| ULTIMATE SPEED    | 90MPH   |
| IMPORTANCE FACTOR | Iw= 1.0 |
| EXPOSURE          | C       |

### SEISMIC

|                         |   |
|-------------------------|---|
| SEISMIC DESIGN CATEGORY | C |
|-------------------------|---|

### FROST DEPTH

36"

### SOIL

|                    |                          |
|--------------------|--------------------------|
| GEOTECHNICAL STUDY | NOT AVAILABLE FOR DESIGN |
| ALLOWABLE BEARING  | 1,500 PSF                |
| SITE CLASS         | D                        |

### ELEVATION

308'

WCLH DESIGN  
CRITERIA  
**A**

### ATTENTION:

- SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER/CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO: IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
- FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. LOCAL ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
- MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. THE OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
- SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

#### AREA SCHEDULE

| NAME       | AREA    |
|------------|---------|
| LIVING     |         |
| MAIN FLOOR | 1189 SF |
|            | 1189 SF |

#### SHEET LIST - PRELIMINARY PLANS

| SHEET#        | SHEET NAME              |
|---------------|-------------------------|
| COVER         |                         |
| A0.0          | COVER SHEET             |
| ARCHITECTURAL |                         |
| A1.1          | MAIN FLOOR PLAN         |
| A2.0          | FRONT & RIGHT ELEVATION |
| A2.1          | BACK & LEFT ELEVATION   |
| A3.0          | SCHEDULES               |

#### DEFERRED SUBMITTAL ITEMS BY CONTRACTOR

- TRUSS CALCS BY TRUSS MANUFACTURER

**NOTE:** WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

SHEET TITLE:  
**COVER SHEET**

PLAN NO.:

TBD

SHEET NO.:

**A0.0**



**Whisper Creek**

1857 Hwy 93 South  
Hamilton, MT 59840  
Ph. 877-289-9254  
homes@wclh.com

THESE PLANS, DRAWINGS, AND DESIGNS ARE THE PROPERTY OF WHISPER CREEK LOG HOMES (WCLH). ALL RIGHTS RESERVED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT FROM AN OFFICER OF WCLH. UNDER PENALTY OF PROSECUTION THESE PLANS ARE RELEASED FOR CONSTRUCTION ON THE SITE DESCRIBED HEREON AND NO OTHER.

THESE DESIGNS AND DETAILS ARE BASED ON MANY YEARS OF CONSTRUCTION, DESIGN, AND ENGINEERING PRACTICE IN NUMEROUS DIVERSE JURISDICTIONS. THE PURPOSE IS TO PROVIDE A BASIS FOR THE DESIGNS INCORPORATED IN WHISPER CREEK LOG HOMES (WCLH). HOWEVER, IT IS THE RESPONSIBILITY OF THE OWNER TO CONSULT WITH ARCHITECT OR ENGINEER OF RECORD (E.O.R.) TO REVIEW AND VERIFY ANY AND ALL OF THE ASSUMPTIONS MADE AND DESIGNS PRESENTED. WCLH MAKES NO WARRANTY OR GUARANTEE AS TO THE FINAL SITE SPECIFIC APPLICABILITY OF THE DESIGN. ANY AND ALL PROPOSED CHANGES BY THE E.O.R. SHALL BE COORDINATED WITH WCLH. ALL CHANGES MUST BE APPROVED IN WRITING BY WCLH. IF APPROVED, ALL CHANGES WILL RESULT IN ADDITIONAL COSTS AND MAY REQUIRE MODIFICATIONS TO THE PLANS AND WALLS.

## PRELIMINARY PLAN SET

#### REVISIONS

| No. | By: | Date: |  |
|-----|-----|-------|--|
|     |     |       |  |

#### PROJECT NAME:

#### OWNER:

#### ADDRESS:

#### DRAWING TITLE:

### COVER SHEET

#### PROJECT NO.:

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE: 11/29/2021 12:44:01 PM

SHEET NO.:

**A0.0**

PLAN NO.:

TBD



- PLAN NO.:

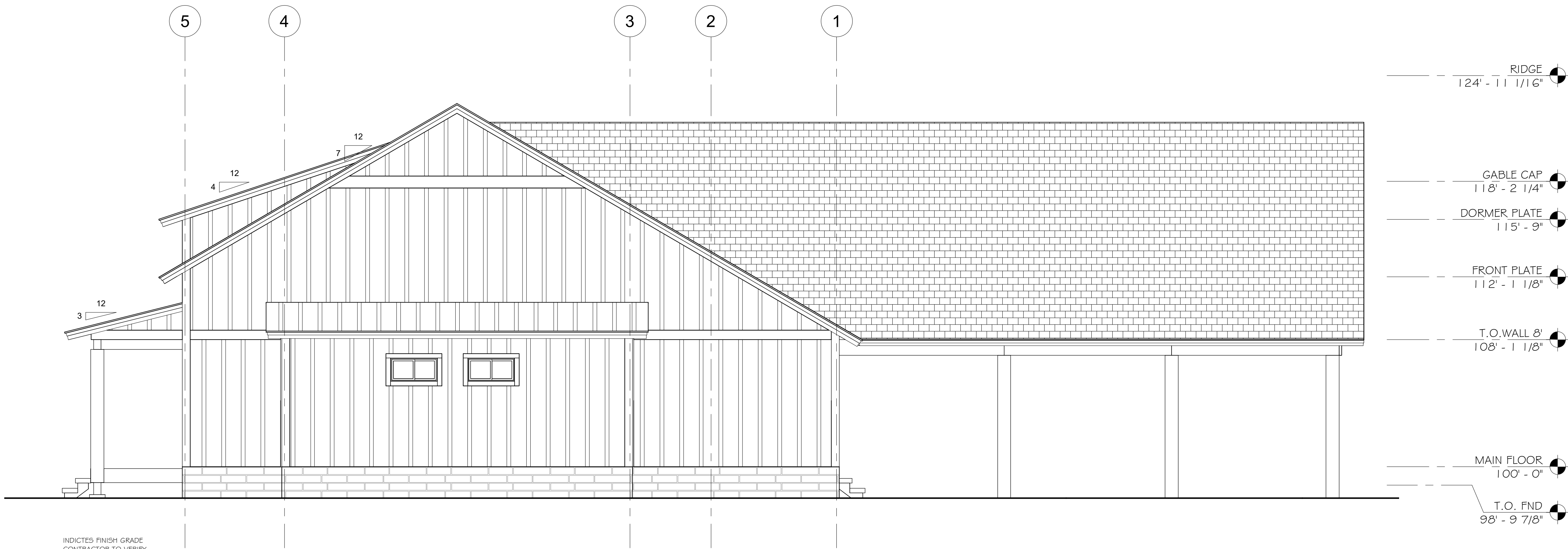


NOT FOR CONSTRUCTION



FRONT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

## ELEVATION NOTES

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
2. MODIFICATIONS TO THE STRUCTURE MUST BE APPROVED BY THE A/EOR IN WRITING PRIOR TO MAKING ANY CHANGES. GRADES INDICATED ARE APPROXIMATE AND MAY BE MODIFIED SUBJECT TO FINAL SITE CONDITIONS. DRAINAGE AWAY FROM THE STRUCTURE MUST BE MAINTAINED.
3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS, THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

## ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR  
WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES  
A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD

SHEET TITLE:  
**FRONT & RIGHT ELEVATION**

SHEET NO.:  
**A2.0**

PLAN NO.:  
TBD

**Whisper Creek**  
1857 Hwy 93 South  
Hamilton, MT 59840  
Ph. 877-289-9254  
[terrif@wclh.com](mailto:terrif@wclh.com)

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**PRELIMINARY PLAN SET**

| REVISIONS |     |       |  |
|-----------|-----|-------|--|
| No.       | By: | Date: |  |
|           |     |       |  |

PROJECT NAME:

OWNER:

ADDRESS:

DRAWING TITLE:  
**FRONT & RIGHT ELEVATION**

PROJECT NO.:  
TBD

DRAWN BY:  
JCF

CHECKED BY:  
MANAGER

DATE:  
11/29/2021 12:44:02 PM

SHEET NO.:  
**A2.0**



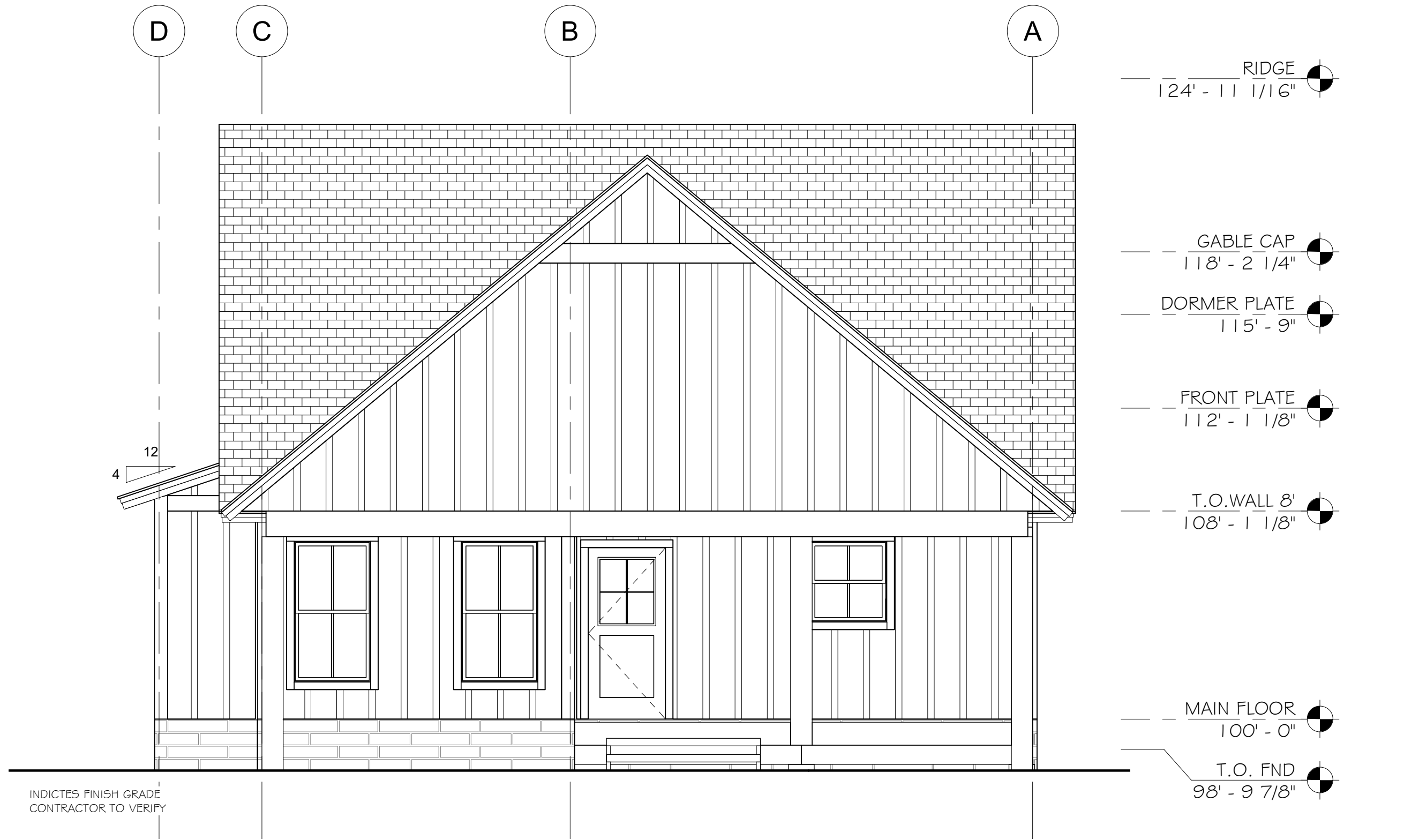
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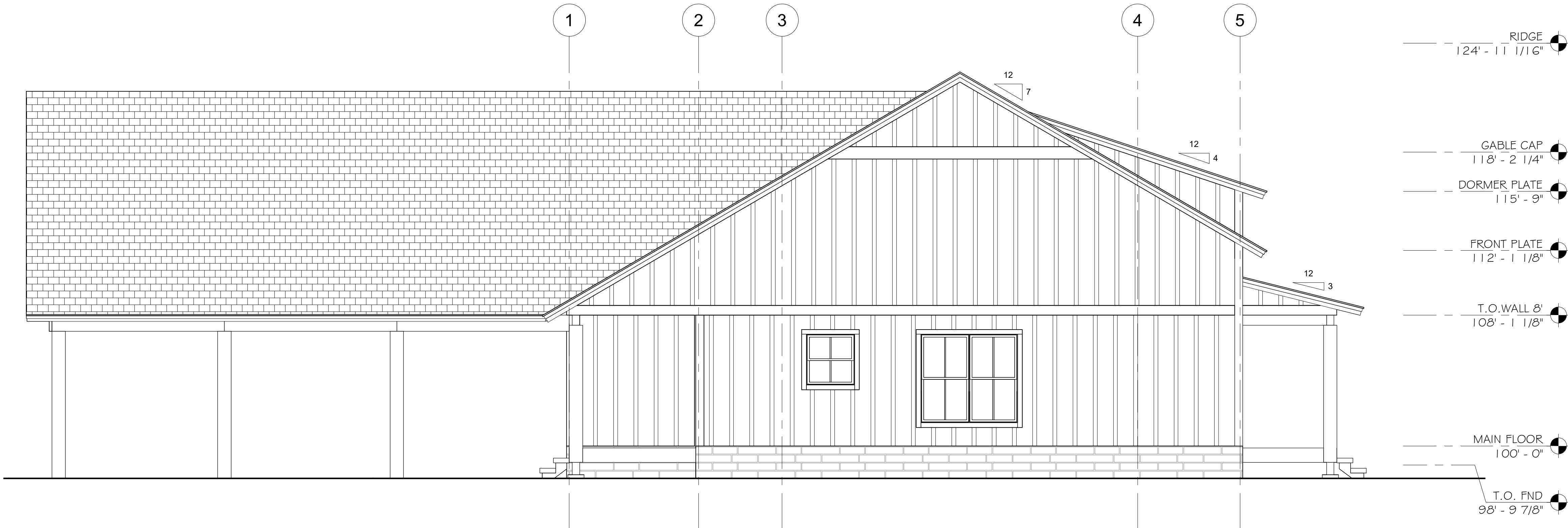
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BACK ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

PLAN NO.:

TBD

SHEET TITLE:

BACK & LEFT ELEVATION

SHEET NO.:

A2.1



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PRELIMINARY  
PLAN SET

| REVISIONS |     |       |  |
|-----------|-----|-------|--|
| No.       | By: | Date: |  |
|           |     |       |  |

PROJECT NAME:

OWNER:

ADDRESS:

DRAWING TITLE:

BACK & LEFT ELEVATION

PROJECT NO.:

TBD

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

11/29/2021 12:44:03 PM

SHEET NO.:

A2.1