

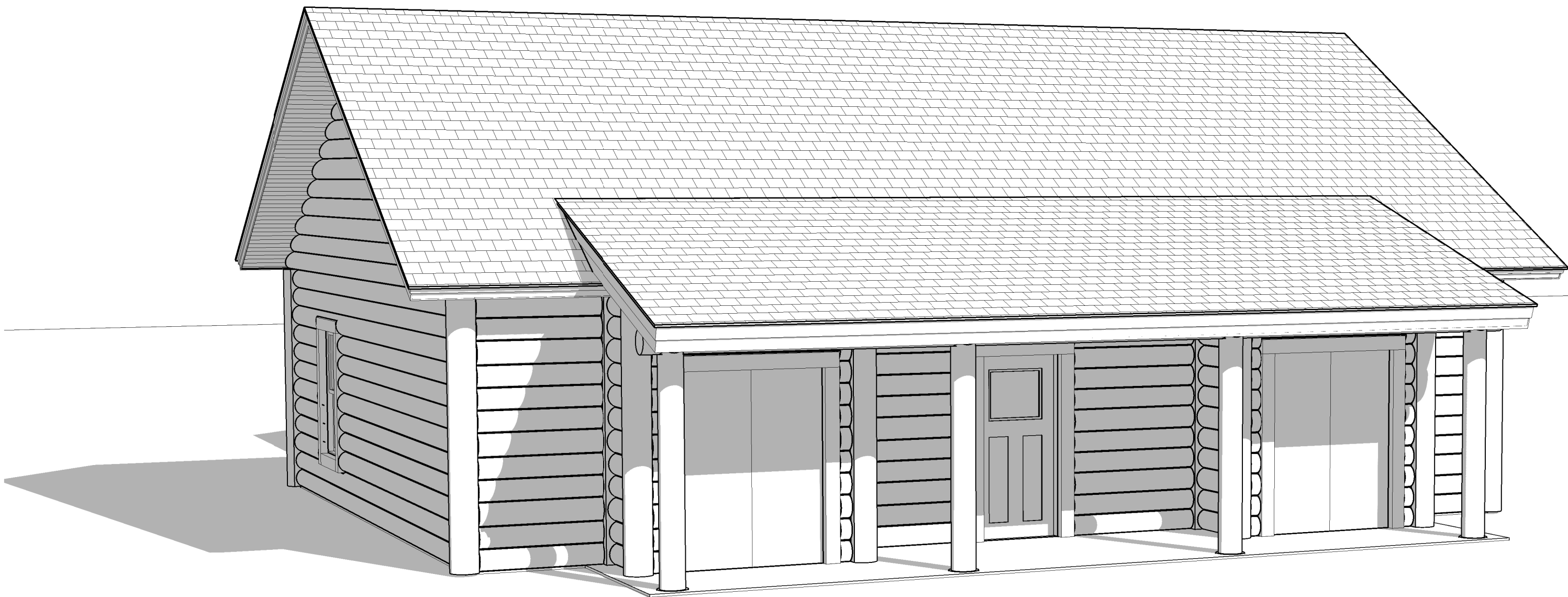
NOT FOR CONSTRUCTION



FRONT PERSPECTIVE

AREA	
MAIN FLOOR	1158 SF

SHEET LIST - PRELIMINARY PLANS	
SHEET#	SHEET NAME
COVER	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	MAIN FLOOR PLAN
A2.0	FRONT & BACK ELEVATION
A2.1	LEFT & RIGHT ELEVATION
A2.2	FRONT ELEVATION OPTION



BACK PERSPECTIVE



Whisper Creek



Whisper Creek

1857 Highway 93 South
Hamilton, MT 59840 ph.
406.802-2146
homes@wclh.com

THESE PLANS, DRAWINGS, AND DESIGNS ARE THE PROPERTY OF WHISPER CREEK LOG HOMES (WCLH). ALL RIGHTS RESERVED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT FROM AN OFFICER OF WCLH. UNDER PENALTY OF PROSECUTION, THESE PLANS ARE RELEASED FOR CONSTRUCTION ON THE SITE DESCRIBED HEREON AND NO OTHER.

THESE DESIGNS AND DETAILS ARE BASED ON MANY YEARS OF CONSTRUCTION, DESIGN, AND ENGINEERING PRACTICE IN NUMEROUS DIVERSE JURISDICTIONS. THE PURPOSE IS TO PROVIDE A BASIS FOR THE DESIGNS INCORPORATED IN WHISPER CREEK LOG HOMES (WCLH). HOWEVER, IT IS THE RESPONSIBILITY OF THE OWNER TO CONSULT WITH ARCHITECT OR ENGINEER OF RECORD (E.O.R.) TO REVIEW AND VERIFY ANY AND ALL OF THE ASSUMPTIONS MADE AND DESIGNS PRESENTED. WCLH MAKES NO WARRANTY OR GUARANTEE AS TO THE FINAL SITE SPECIFIC APPLICABILITY OF THE DESIGN. ANY AND ALL PROPOSED CHANGES BY THE E.O.R. SHALL BE COORDINATED WITH WCLH. ALL CHANGES MUST BE APPROVED IN WRITING BY WCLH. IF APPROVED, ALL CHANGES WILL RESULT IN ADDITIONAL COSTS AND MAY REQUIRE MODIFICATIONS TO THE PLANS AND WALLS.

PRELIMINARY
PLAN SET

REVISIONS

No.	By:	Date:	

PROJECT NAME:

RIVERWOOD

OWNER:

ADDRESS:

DRAWING TITLE:

COVER SHEET

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

11/17/2019 12:36:27 PM

SHEET NO.:

A0.0

PLAN NO:
TBD

SHEET TITLE:
COVER SHEET

PLAN NO.:

TBD

A0.0

SHEET NO.:

FLOOR PLAN NOTES

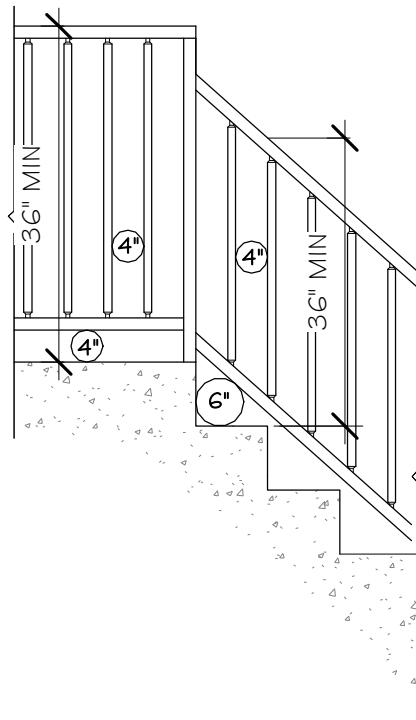
1. CONTRACTOR WILL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2' LOWER THAN TOP OF THRESHOLD ON THE EXTERIOR SIDE. IT SHALL NOT BE LOWER THAN 7 3/4" FROM TIP OF THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER LANDING OR FLOOR.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD

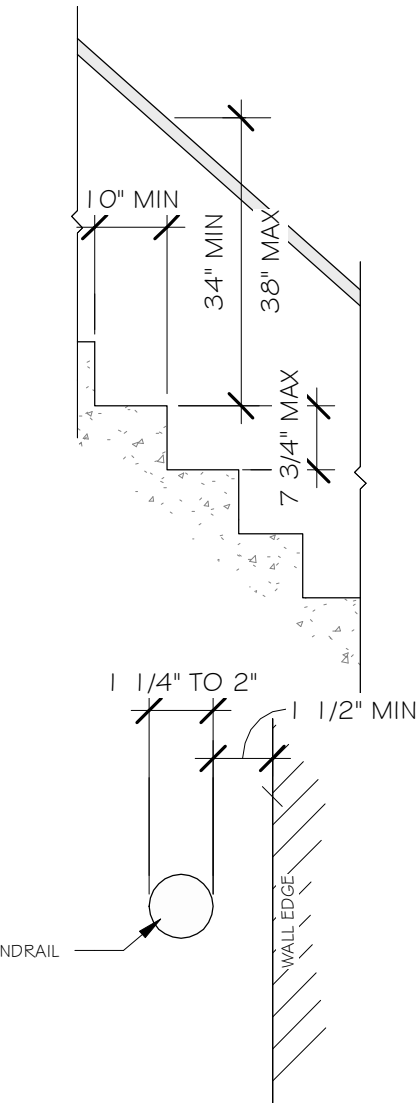
GUARDRAIL NOTES:

1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT 6-INCH SPHERE CANNOT PASS THROUGH



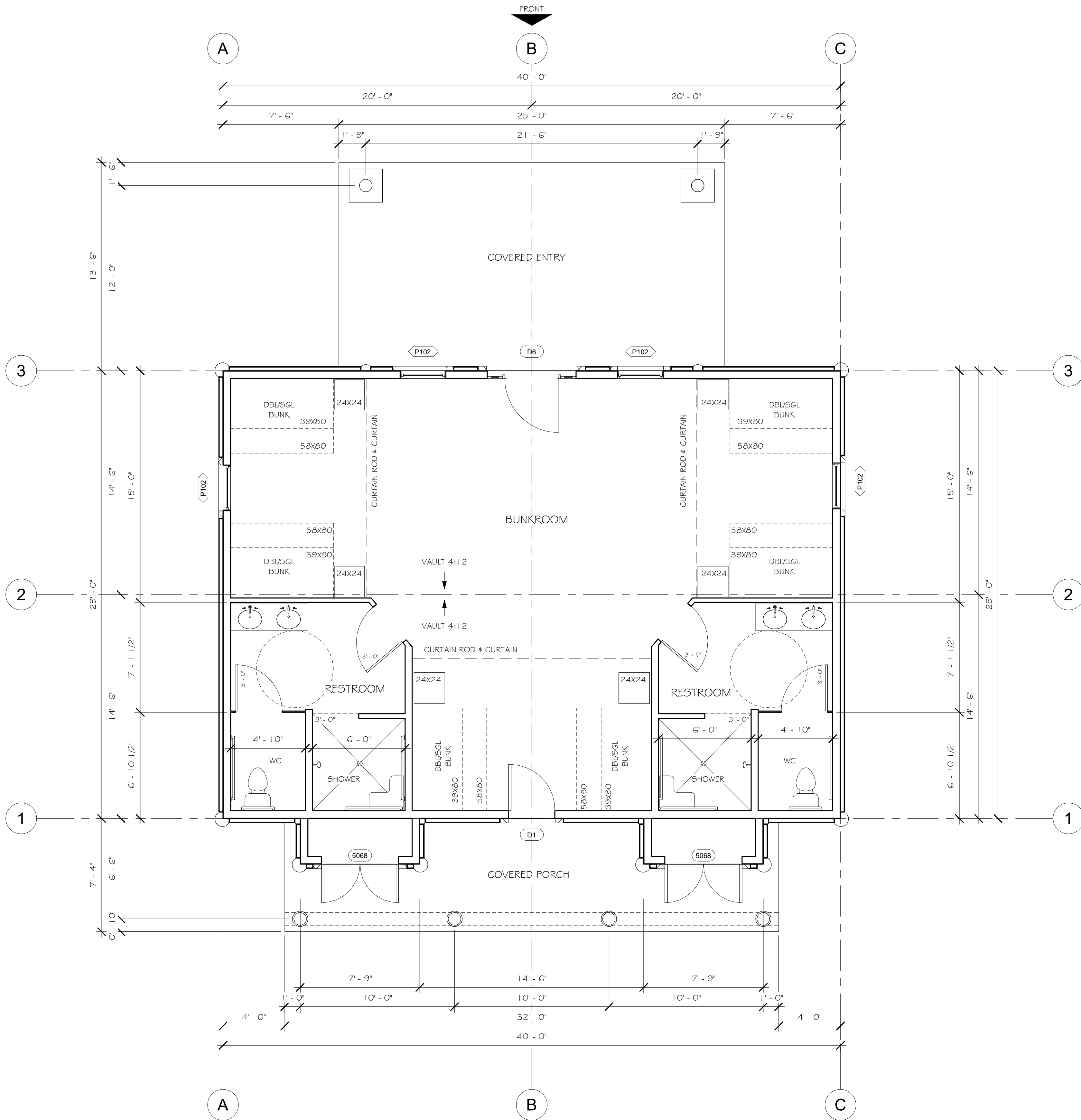
HANDRAIL NOTES:

1. RESIDENTIAL STAIRS REQUIRE HANDRAILS ON A MINIMUM OF ONE SIDE.
2. HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH ENDS RETURNED TO NEWEL POST OR WALL.
3. THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/4" INCHES AND NOT GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTION FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND ANY ABUTTING CONSTRUCTION SO AS TO AVOID INJURY TO FINGERS.



STAIRWAY NOTES:

1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.
2. THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES OR GREATER THAN 7-3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
3. THE RUN SHALL NOT BE LESS THAN 10 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHER MOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.
4. WINDER TREADS SHALL HAVE A MINIMUM OF TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE NARROW SIDE OF THE TREAD, AND HAVE A MINIMUM DEPTH OF 6". WITHIN ANY FLIGHT OF STAIRS THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".



MAIN FLOOR

1/4" = 1'-0"

SHEET TITLE:
MAIN FLOOR PLAN

PLAN NO.:
A1.0

TBD



Whisper Creek

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PRELIMINARY PLAN SET

REVISIONS

No.	By:	Date:

PROJECT NAME:

RIVERWOOD

OWNER:

ADDRESS:

DRAWING TITLE:

MAIN FLOOR PLAN

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

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SHEET NO.:

A1.0

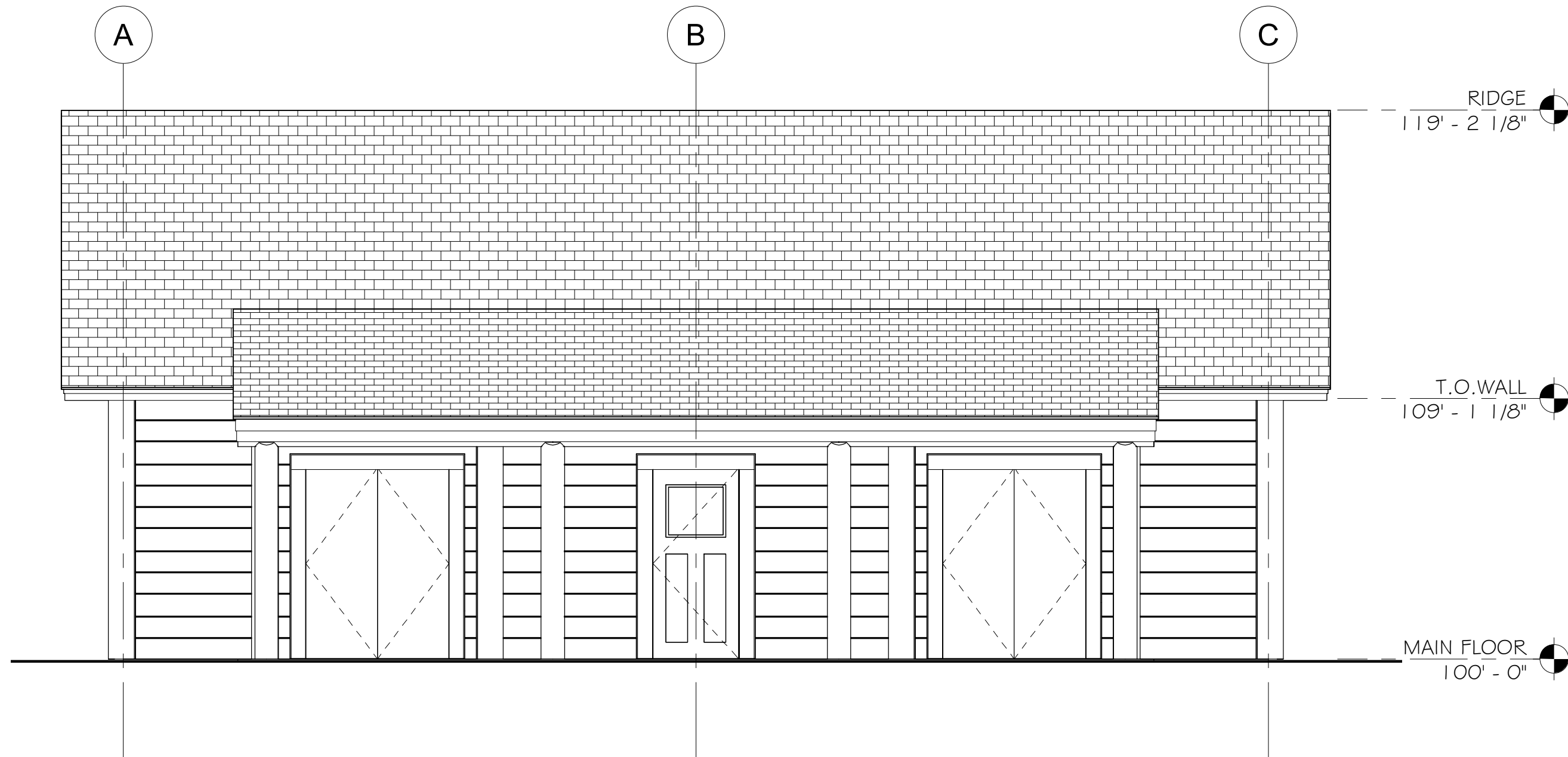
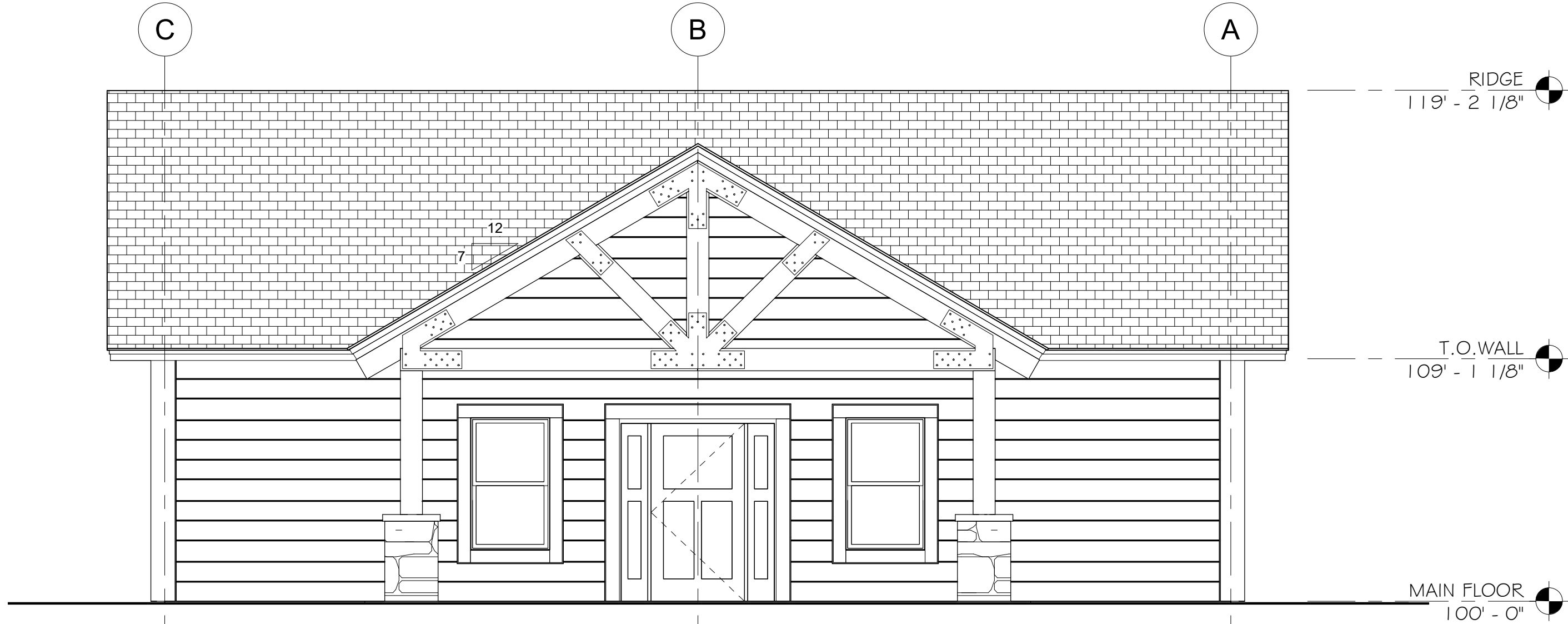
PLAN NO.:
TBD

ELEVATION NOTES

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3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

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SHEET TITLE:
**FRONT & BACK
ELEVATION**

SHEET NO.:
A2.0

PLAN NO.:
TBD

1857 Highway 93 South
Hamilton, MT 59840 ph.
406.802-2146
fx. 406.363.6537
homes@wclh.com

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PRELIMINARY
PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:

RIVERWOOD

OWNER:

ADDRESS:

DRAWING TITLE:

FRONT & BACK
ELEVATION

PLAN NO.:
TBD

DRAWN BY:
JCF

CHECKED BY:
MANAGER

DATE:
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SHEET NO.:
A2.0

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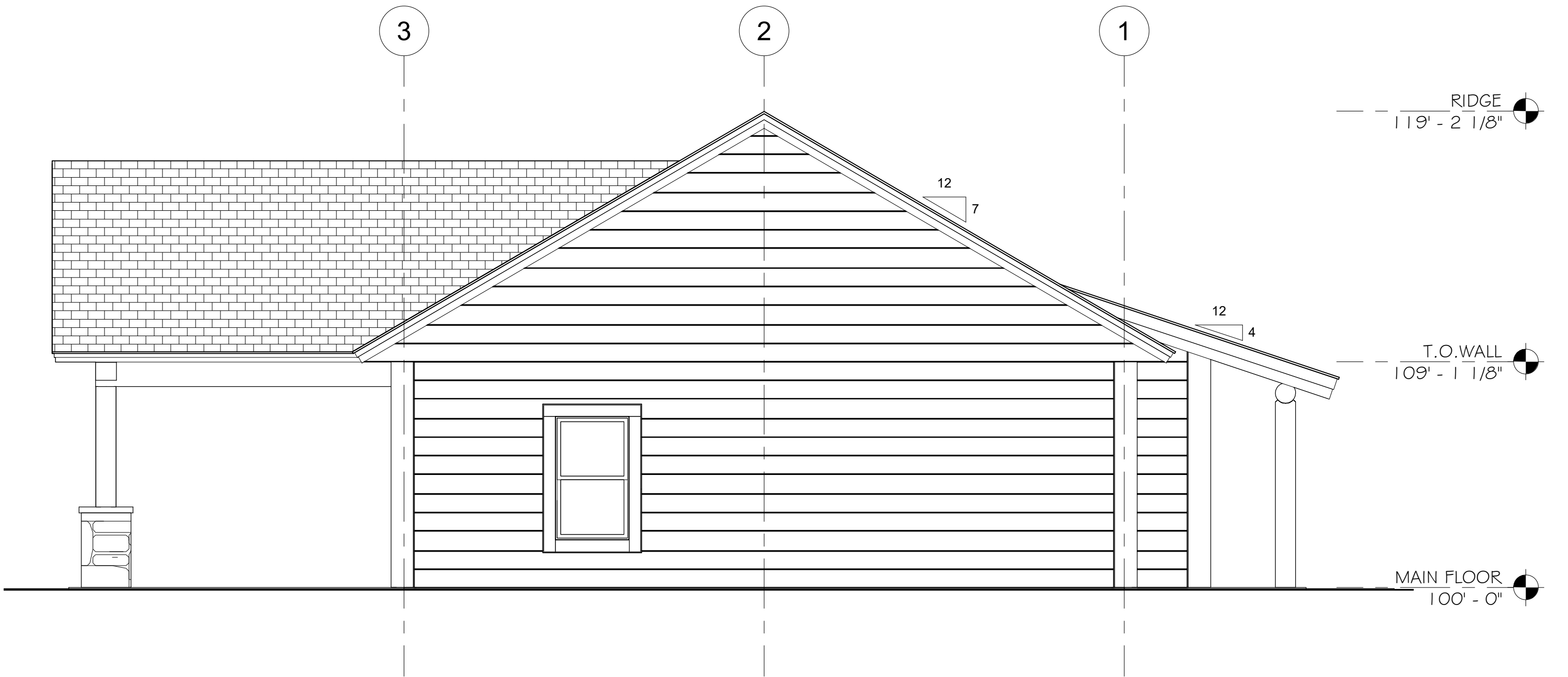
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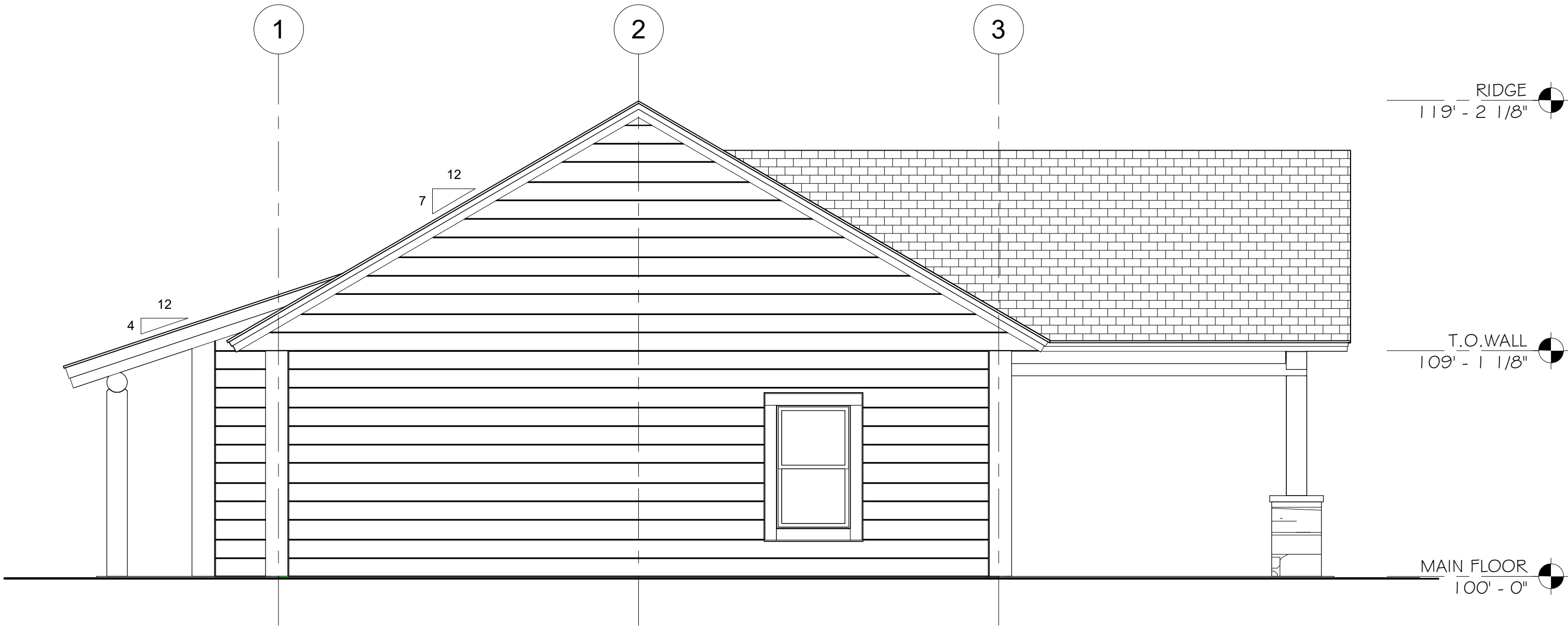
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LEFT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

SHEET TITLE: LEFT & RIGHT ELEVATION	PLAN NO.: TBD
	SHEET NO.: A2.1

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PRELIMINARY PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:
RIVERWOOD

OWNER:

ADDRESS:

DRAWING TITLE:
LEFT & RIGHT ELEVATION

PLAN NO.: TBD	PROJECT NO.:
	DRAWN BY: JCF
	CHECKED BY: MANAGER
	DATE: 11/17/2019 12:36:28 PM
SHEET NO.: A2.1	

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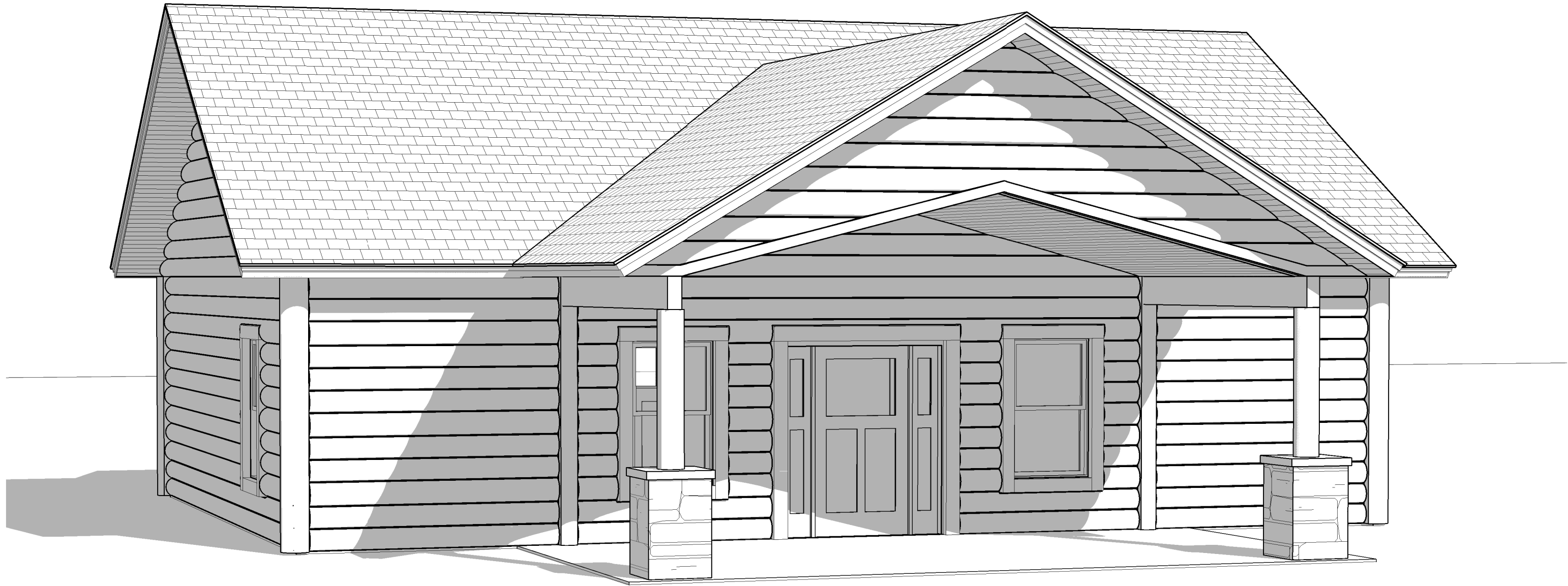
NOT FOR CONSTRUCTION

ELEVATION NOTES

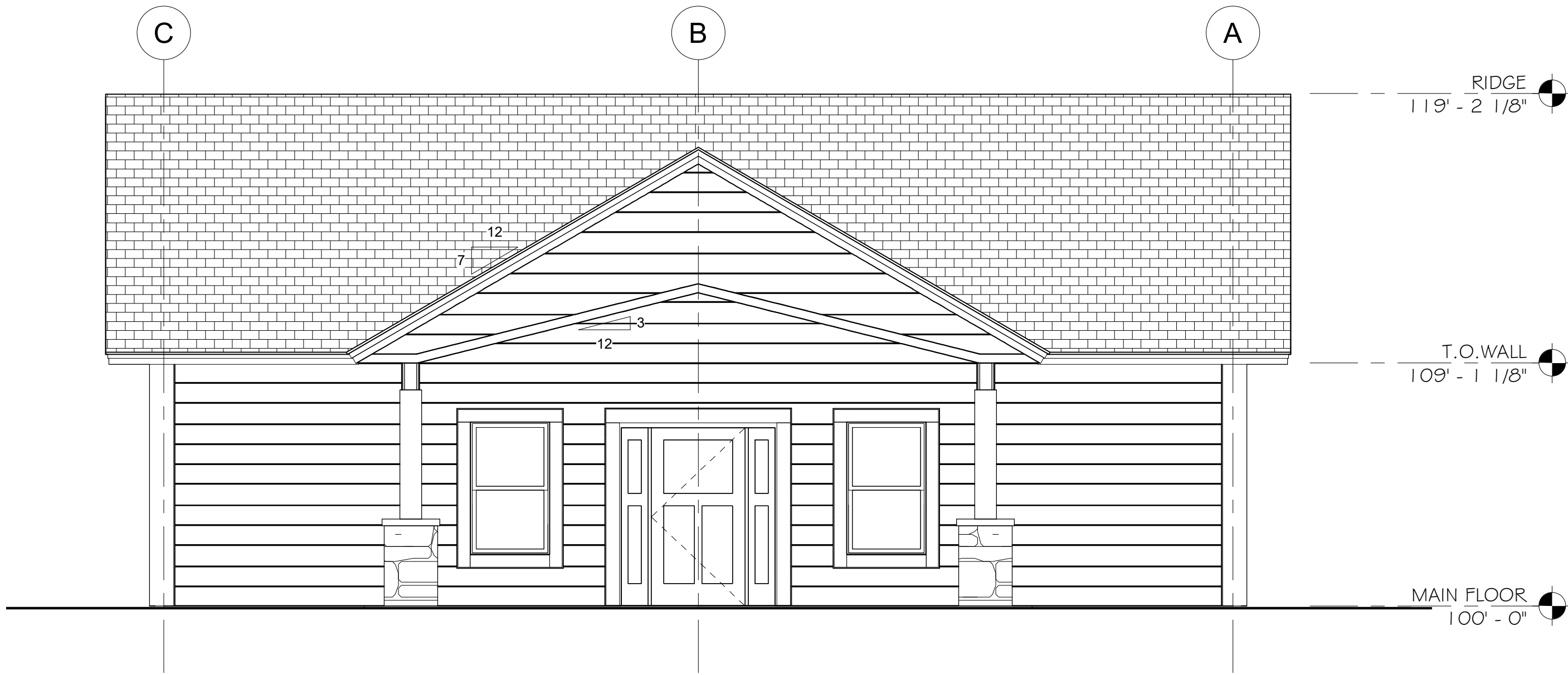
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FRONT PERSPECTIVE - OPTION #2



FRONT ELEVATION - OPTION #2

1/4" = 1'-0"

FRONT ELEVATION
OPTION

PLAN NO.: TBD

SHEET NO.: A2.2

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PRELIMINARY
PLAN SET

REVISIONS		
No.	By:	Date:

PROJECT NAME:
RIVERWOOD

OWNER:

ADDRESS:

DRAWING TITLE:
FRONT ELEVATION
OPTION

PROJECT NO.: TBD	DRAWN BY: Author
	CHECKED BY: Checker
	DATE: 11/17/2019 12:36:31 PM
	SHEET NO.: A2.2

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