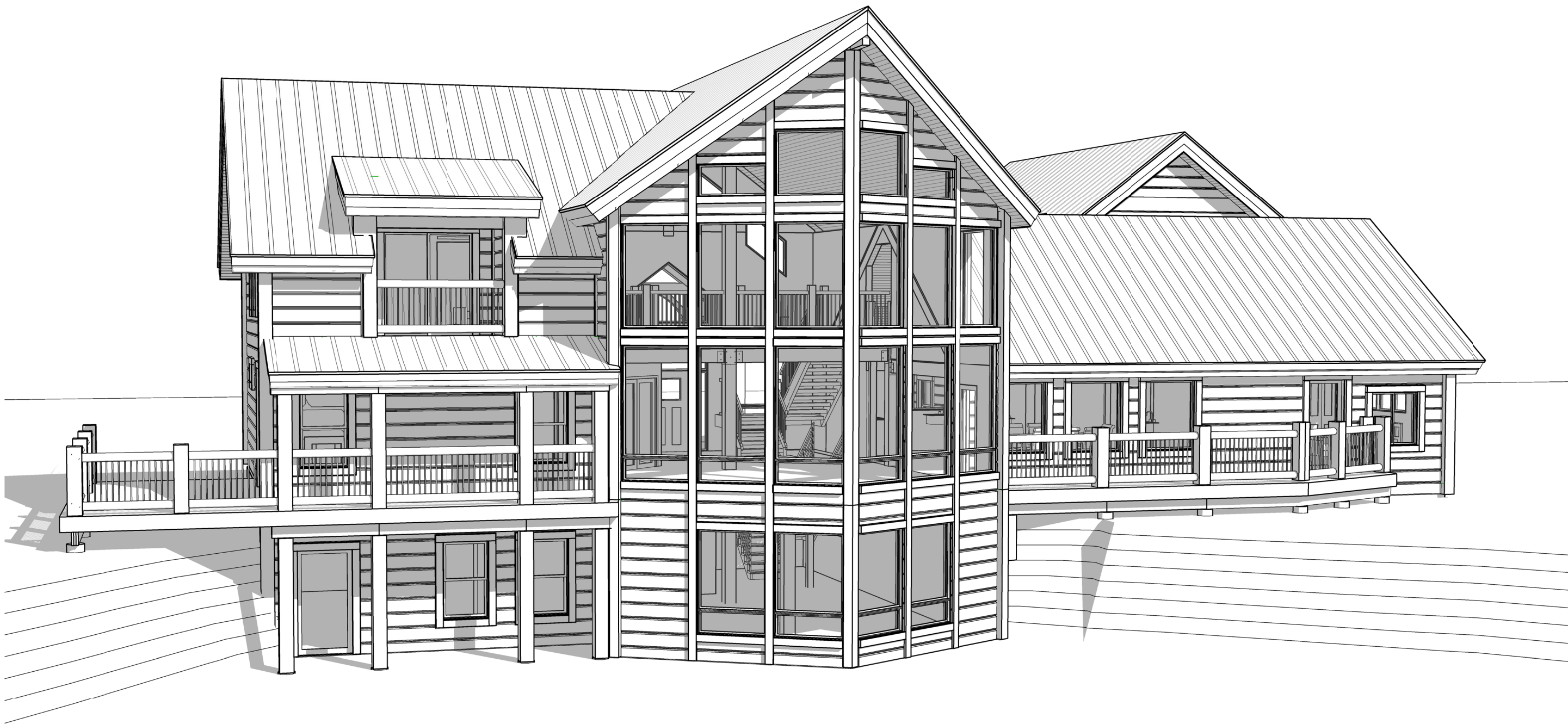
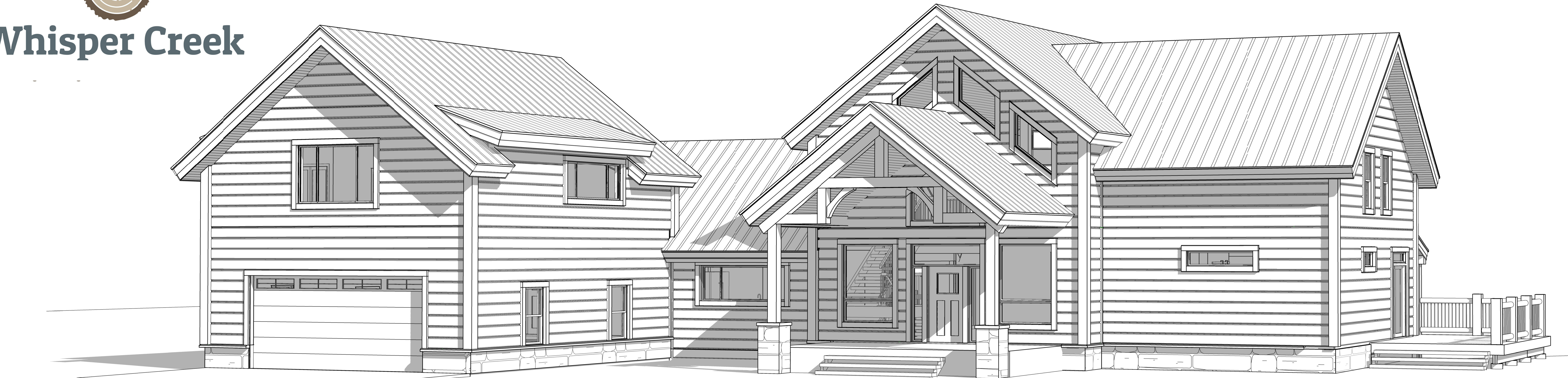




Whisper Creek

BID SET - NOT FOR CONSTRUCTION



SHEET LIST - BID SET	
SHEET#	SHEET NAME
COVER	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	BASEMENT PLAN
A1.1	MAIN FLOOR PLAN
A1.2	LOFT FLOOR PLAN
A2.0	FRONT & RIGHT ELEVATION
A2.1	BACK & LEFT ELEVATION
A3.0	SCHEDULES
A4.0	COMPONENT ISOMETRIC
STRUCTURAL	
S1.0	FOUNDATION PLAN
S2.0	MAIN FLOOR FRAMING PLAN
S2.1	LOFT FLOOR FRAMING PLAN
S3.0	ROOF FRAMING PLAN

AREA SCHEDULE	
NAME	AREA
EXISTING HEATED	
EXISTING LOFT	236 SF
EXISTING MAIN LEVEL	1046 SF
	1281 SF
EXISTING	1281 SF
NEW HEATED	
APARTMENT	807 SF
BASEMENT	1160 SF
LOFT	909 SF
NEW MAIN LEVEL	1562 SF
	4438 SF
NON-HEATED	
GARAGE	790 SF
	790 SF
NEW	5228 SF
TOTAL OVERALL AREA	6509 SF

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR

- TRUSS CALCS BY TRUSS MANUFACTURER

ATTENTION:

- SITE PLANS:** SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO: IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
- FIRE RESISTIVE CONSTRUCTION:** FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- LATERAL DESIGN:** BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. local ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT 'DAMAGE PROOFING'. IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
- MODIFICATIONS:** STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR AEOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. the OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
- SOILS INVESTIGATION:** WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE AEOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

DESIGN CRITERIA

GOVERNING CODES

2015 INTERNATIONAL BUILDING CODE (IBC)
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	100 PSF
	GROUND LOAD	90 PSF
	FLAT ROOF	Ce= 1.0
	EXPOSURE FACTOR	
	THERMAL FACTOR	
	WARM	Ct= 1.1
	COLD	Ct= 1.1
	IMPORTANCE FACTOR	Is= 1.0

WIND DESIGN

ULTIMATE SPEED	90MPH
IMPORTANCE FACTOR	Iw= 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	C
-------------------------	---

FROST DEPTH

	36"
--	-----

SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

WCLH DESIGN
CRITERIA
A

SHEET TITLE:
COVER SHEET

PLAN NO.:

TBD

A0.0

SHEET NO.:



Whisper Creek

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BID SET

REVISIONS

No.	By:	Date:

PROJECT NAME:

CUSTOM HOME

OWNER:

ADDRESS:

DRAWING TITLE:

COVER SHEET

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

SHEET NO.:

A0.0

PLAN NO.:

TBD

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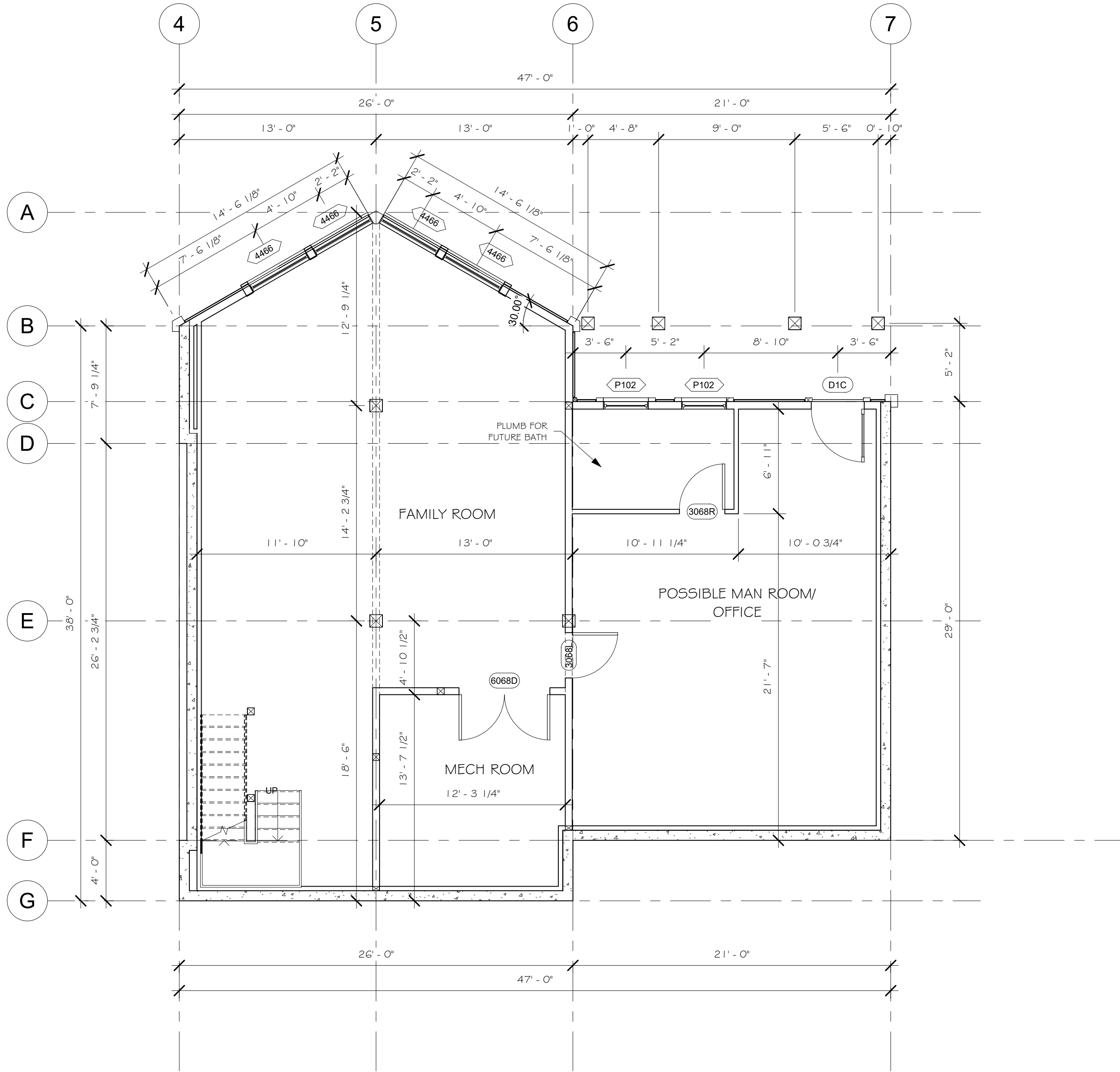
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BASEMENT NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. PROVIDE WINDOW WELLS AS REQUIRED BY FINISH GRADE. (CONTRACTOR TO VERIFY). SEE WINDOW WELL DETAIL.
4. BASEMENTS ENCLOSING CONDITIONED SPACE SHALL BE INSULATED.
5. UNFINISHED AND FINISHED SPACES SHALL BE SEPARATED BY A DOOR.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD



BASEMENT

3/16" = 1'-0"

SHEET TITLE

BASEMENT PLAN

SHEET NO.

TBD

PLAN NO.

A1.0

**Whisper Creek**
By Rocky Mountain Homes

1883 Highway 93 South
Hamilton, MT 59840
ph. 406.363.5680
fx. 406.363.6537
wclhdesign@rmlh.com

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BID SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:
CUSTOM HOME

OWNER:

ADDRESS:

DRAWING TITLE:
BASEMENT PLAN

PLAN NO.	PROJECT NO.:	
	DRAWN BY:	JCF
	CHECKED BY:	MANAGER
TBD	DATE:	
	SHEET NO.:	A1.0

FLOOR PLAN NOTES

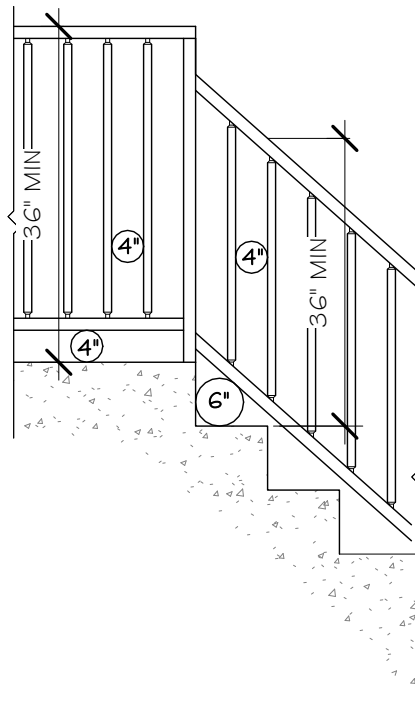
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- 2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
- 3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN TOP OF THRESHOLD ON THE EXTERIOR SIDE. IT SHALL NOT BE LOWER THAN 7 3/4" FROM TIP OF THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER LANDING OR FLOOR.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD

GUARDRAIL NOTES:

- 1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
- 2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT 6-INCH SPHERE CANNOT PASS THROUGH

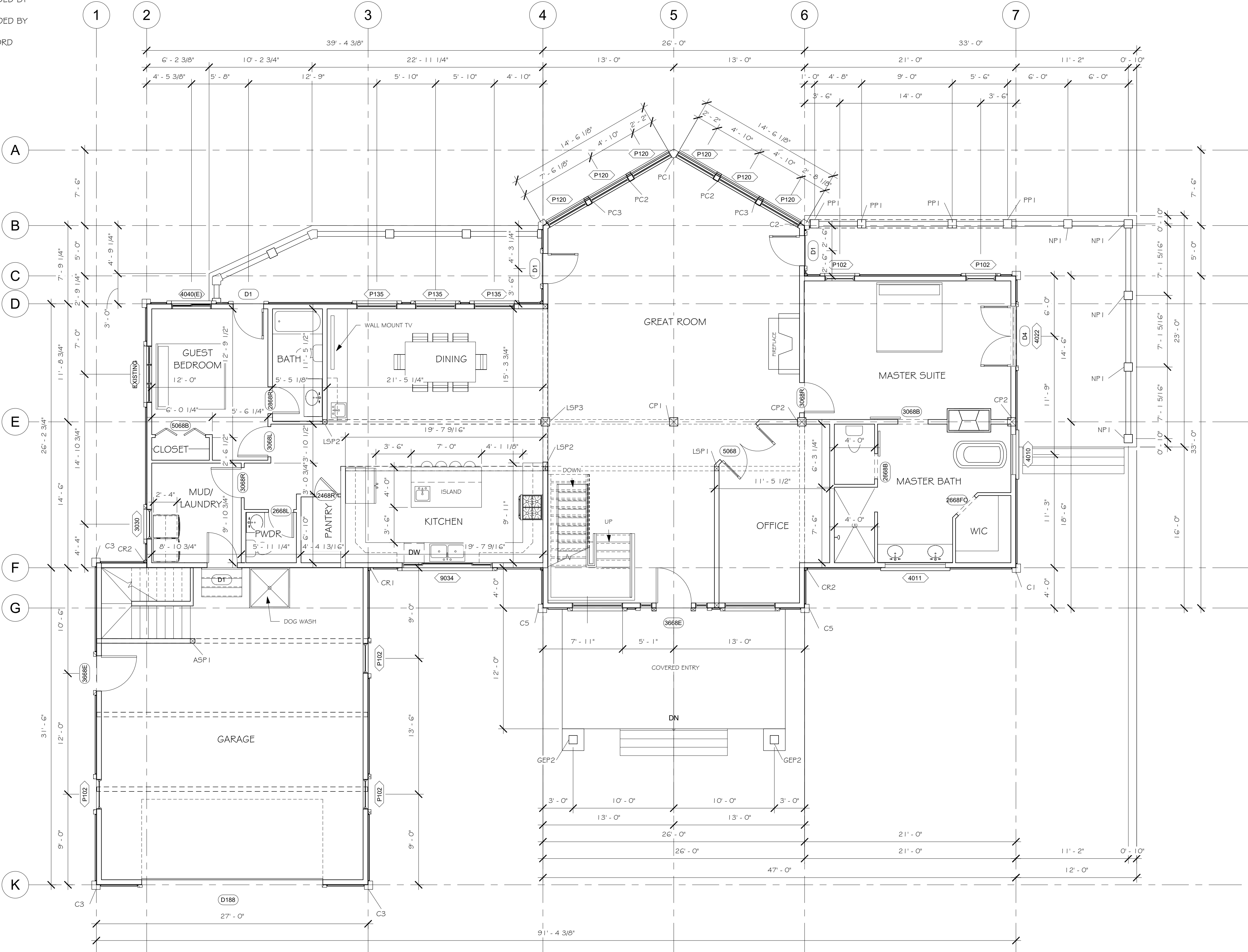
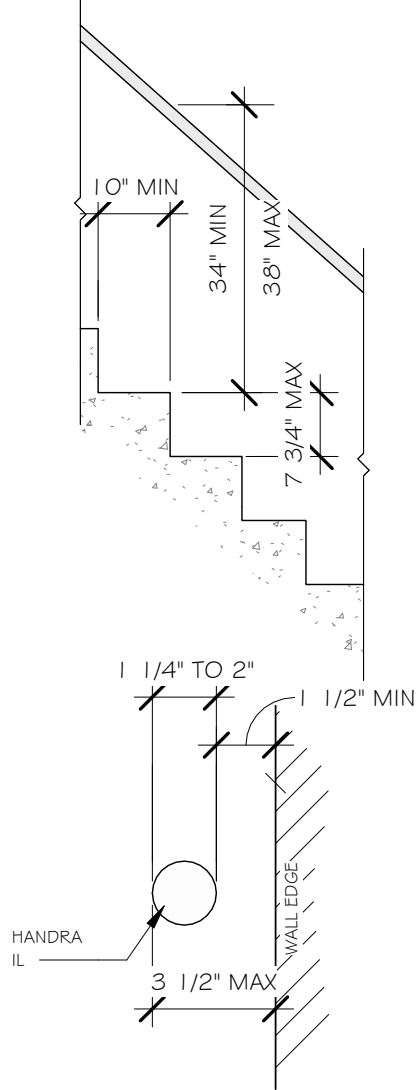


STAIRWAY NOTES:

- 1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.
- 2. THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES OR GREATER THAN 7-3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
- 3. THE RUN SHALL NOT BE LESS THAN 11 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHER MOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.
- 4. WINDER TREADS SHALL HAVE A MINIMUM OF TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE NARROW SIDE OF THE TREAD, AND HAVE A MINIMUM DEPTH OF 6". WITHIN ANY FLIGHT OF STAIRS THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

HANDRAIL NOTES:

- 1. RESIDENTIAL STAIRS REQUIRE HANDRAILS ON A MINIMUM OF ONE SIDE.
- 2. HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH ENDS RETURNED TO NEWEL POST OR WALL.
- 3. THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/4" INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTION FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND ANY ABUTTING CONSTRUCTION SO AS TO AVOID INJURY TO FINGERS.



MAIN FLOOR

3/16" = 1'-0"

SHEET TITLE
MAIN FLOOR PLAN

PLAN NO.:

TBD

SHEET NO.:

A1.1



Whisper Creek
By Rocky Mountain Homes

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REVISIONS

No.	By:	Date:

PROJECT NAME:

CUSTOM HOME

OWNER:

GERRY ARAMBULA

ADDRESS:

2 TO 7 MOON WATER LANE
CAMERON, MT 59720

DRAWING TITLE:

MAIN FLOOR PLAN

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

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SHEET NO.:

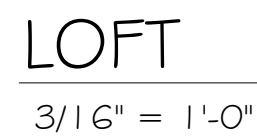
A1.1

PLAN NO.:

TBD

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O/C	INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
WC	INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
A/EOR	INDICATES ARCHITECT/ENGINEER OF RECORD



BASE DESIGNS AND DETAILS ARE BASED ON MANY YEARS OF CONSTRUCTION, DESIGN, AND ENGINEERING PRACTICE IN THE WHISPER CREEK LOG HOMES (WCLH). HOWEVER, THE RESPONSIBILITY OF THE OWNER, OWNER'S REPRESENTATIVE, ARCHITECT OR ENGINEER OF RECORD (O.R.) TO REVIEW AND VERIFY ANY AND ALL OF THE ASSUMPTIONS MADE AND THE PROPOSED CHANGES, AND ANY WARRANTY OR GUARANTEE, AS TO THE FINAL SITE SPECIFIC APPLICABILITY OF THE DESIGN, ANY AND ALL PROPOSED CHANGES, SHALL BE THE RESPONSIBILITY COORDINATED WITH WCLH. ALL CHANGES MUST BE APPROVED IN WRITING BY WCLH. IF APPROVED, ALL CHANGES WILL BE INCURRED BY THE OWNER. COSTS AND MAY REQUIRE MODIFICATIONS TO THE PLANS AND WALLS.

REVISIONS			
No.	By:	Date:	

PROJECT NAME:

CUSTOM HOME

OWNER:

ADDRESS:

DRAWING TITLE:

LOFT FLOOR PLAN

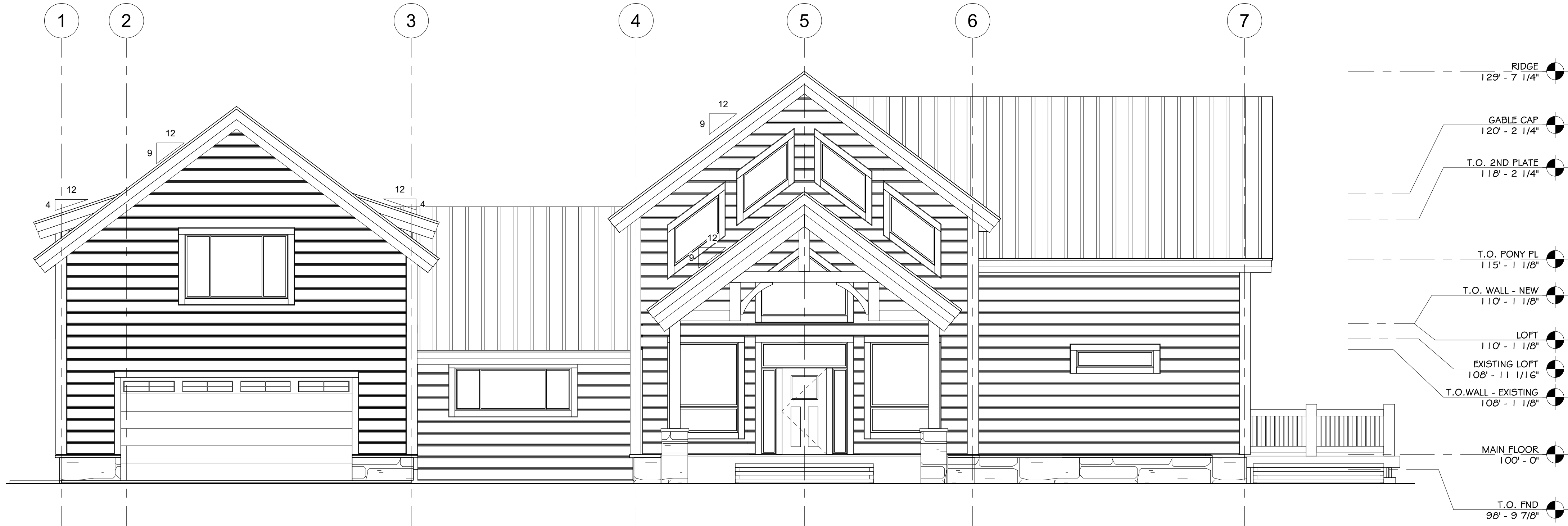
TBD	PROJECT NO.:	
	DRAWN BY:	JCF
	CHECKED BY:	MANAGER
	DATE:	3/8/2019 6:49:37 PM
	SHEET NO.:	A1.2

ELEVATION NOTES

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
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3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

ABBREVIATIONS

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FRONT ELEVATION

3/16" = 1'-0"



RIGHT ELEVATION

3/16" = 1'-0"

SHEET TITLE
FRONT & RIGHT
ELEVATION

PLAN NO.:

TBD

SHEET NO.
A2.0



Whisper Creek

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BID SET

REVISIONS

No.	By:	Date:

PROJECT NAME:

CUSTOM HOME

OWNER:

ADDRESS:

DRAWING TITLE:

FRONT & RIGHT
ELEVATION

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

SHEET NO.:

A2.0

PLAN NO.:

TBD

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BACK ELEVATION

3/16" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

BACK & LEFT
ELEVATION

PLAN NO.:

TBD

A2.1



Whisper Creek

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PRELIMINARY PLAN SET

REVISIONS

No.	By:	Date:

PROJECT NAME:

CUSTOM HOME

OWNER:

ADDRESS:

DRAWING TITLE:

BACK & LEFT
ELEVATION

PROJECT NO.:

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE:

SHEET NO.:

A2.1

PLAN NO.:

TBD

ONLY COMPONENTS INCLUDED IN WCLH PACKAGE ARE SHOWN

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
APARTMENT SUPPORT POSTS			
ASP1	2	8' - 8"	6X6 DIMENSIONAL LUMBER
ATTACHMENT WALL CORNER			
CR1	2	8' - 0"	3X3 R5 TIMBER
CR2	7	10' - 1 1/8"	3X3 R5 TIMBER
CR3	2	5' - 0"	3X3 R5 TIMBER
CR4	2	9' - 4"	3X3 R5 TIMBER
CR6	1	8' - 1 1/8"	3X3 R5 TIMBER
BASEMENT PORCH POSTS			
BP1	4	8' - 0 5/8"	10X10 TIMBER POST
CENTER POST			
CP1	1	27' - 4 1/4"	10X10 TIMBER POST
CP2	2	25' - 4 1/4"	10X10 TIMBER POST
CORNER POST			
C1	2	15' - 4 1/2"	10X10 R5 TIMBER POST W/ PIE CUT & PITCH CUT TOP
C2	3	18' - 5 5/8"	10X10 R5 TIMBER POST W/ PIE CUT & PITCH CUT TOP
C3	1	10' - 4 1/2"	10X10 R5 TIMBER POST W/ PIE CUT & PITCH CUT TOP
C3	4	15' - 4 1/2"	10X10 R5 TIMBER POST W/ PIE CUT & PITCH CUT TOP
C5	2	18' - 5 5/8"	10X10 R5 TIMBER POST W/ PIE CUT & PITCH CUT TOP
CORNER POST - DORMER			
C12	4	8' - 5 9/16"	10X10 R5 TIMBER POST W/ PIE CUT & PITCH CUT TOP
CS1	2	1' - 10 3/4"	10X10 R5 TIMBER POST W/ PIE CUT & PITCH CUT TOP
DORMER SUPPORT BEAM			
DB1	1	9' - 1 1"	5 1/2" X 12" GLULAM BEAM
GABLE ENTRY			
GEB1	3	13' - 2"	10X10 R5 TIMBER BEAM
GEB2	1	11' - 6"	10X10 TIMBER BEAM
GEB3	2	3' - 11 11/16"	10X10 TIMBER BEAM
GEP1	2	2' - 11 3/4"	10 X 10 R5 TIMBER POST
GEP2	2	8' - 3 3/4"	10 X 10 R5 TIMBER POST
GEP3	1	3' - 5 3/4"	10 X 10 R5 TIMBER POST

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
GETC1	2	14' - 1 1/2"	10X10 R5 TIMBER TOP CHORD
KB1	2	2' - 6"	8X8 TIMBER KNEE BRACE
HALF NEWEL POST			
HNP1	4	4' - 0"	5X10 TIMBER POST
LOFT SUPPORT BEAM			
AB2	3	26' - 1 1"	5 1/2" X 12" GLULAM BEAM
LSB1	1	21' - 8 1/4"	5 1/2" X 12" GLULAM BEAM
LSB2	1	8' - 2 3/4"	5 1/2" X 12" GLULAM BEAM
LSB3	1	11' - 10"	5 1/2" X 12" GLULAM BEAM
LSB4	1	17' - 0 1/4"	5 1/2" X 13 1/2" GLULAM BEAM
LSB5	1	11' - 9 5/8"	5 1/2" X 12" GLULAM BEAM
LSB6	1	20' - 7 1/8"	5 1/2" X 12" GLULAM BEAM
LSB7	1	11' - 3 1/4"	5 1/2" X 12" GLULAM BEAM
LSB8	1	10' - 1"	5 1/2" X 12" GLULAM BEAM
LSB8	1	19' - 11 1/2"	5 1/2" X 18" GLULAM BEAM
LOFT SUPPORT POST			
LSP1	3	7' - 1 1"	6X6 DIMENSIONAL LUMBER
LSP2	4	7' - 0 5/16"	6X6 DIMENSIONAL LUMBER
LSP3	1	8' - 11 1/16"	10X10 TIMBER POST
NEWEL POST			
NP1	9	4' - 0"	10 X 10 TIMBER POST
PORCH BEAM			
PB1	1	5' - 2"	10X10 R5 TIMBER BEAM
PB2	1	9' - 0"	10X10 R5 TIMBER BEAM
PB3	1	6' - 4"	10X10 R5 TIMBER BEAM
PORCH POST			
PP1	4	7' - 9 1/4"	10X10 TIMBER POST
PROW GABLE STIFFENER			
PC1	1	27' - 4 1/4"	TIMBER POST (PROW)
PC2	2	34' - 8"	TIMBER POST (PROW)
PC3	2	31' - 5"	TIMBER POST (PROW)
RIDGE BEAM			
RB1	1	29' - 4"	5 1/2" X 21" GLULAM BEAM
RB2	1	18' - 6"	5 1/2" X 21" GLULAM BEAM
RB3	1	21' - 7 1/2"	5 1/2" X 21" GLULAM BEAM
RB4	1	9' - 0"	5 1/2" X 12" GLULAM BEAM
RB5	1	11' - 5"	5 1/2" X 12" GLULAM BEAM

BRACKET SCHEDULE		
BRACKET #	COUNT	DESCRIPTION
BK5	4	CENTER POST TO RIDGE BEAM
BK8	1	(2) GLB SADDLE TO POST
BK12X	6	GLB SADDLE TO POST

