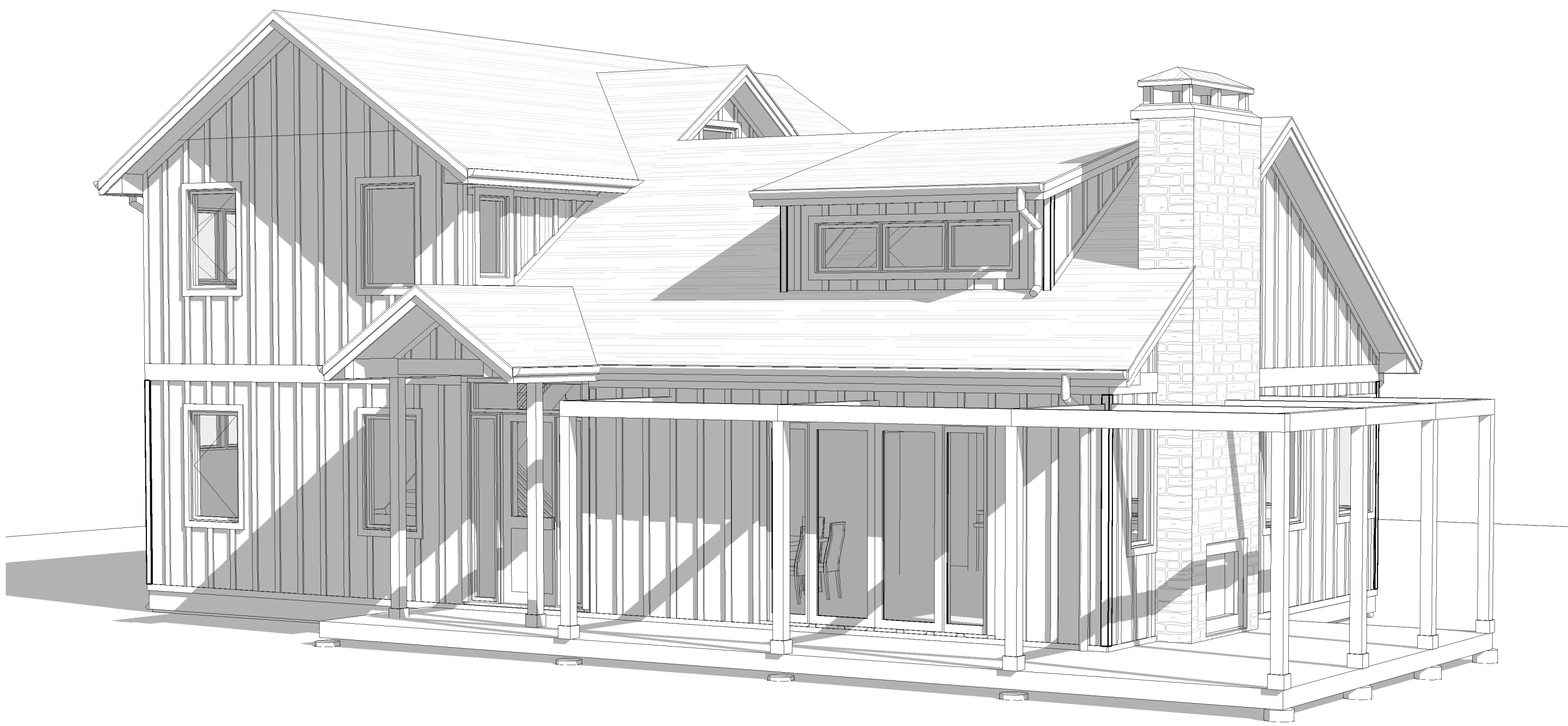
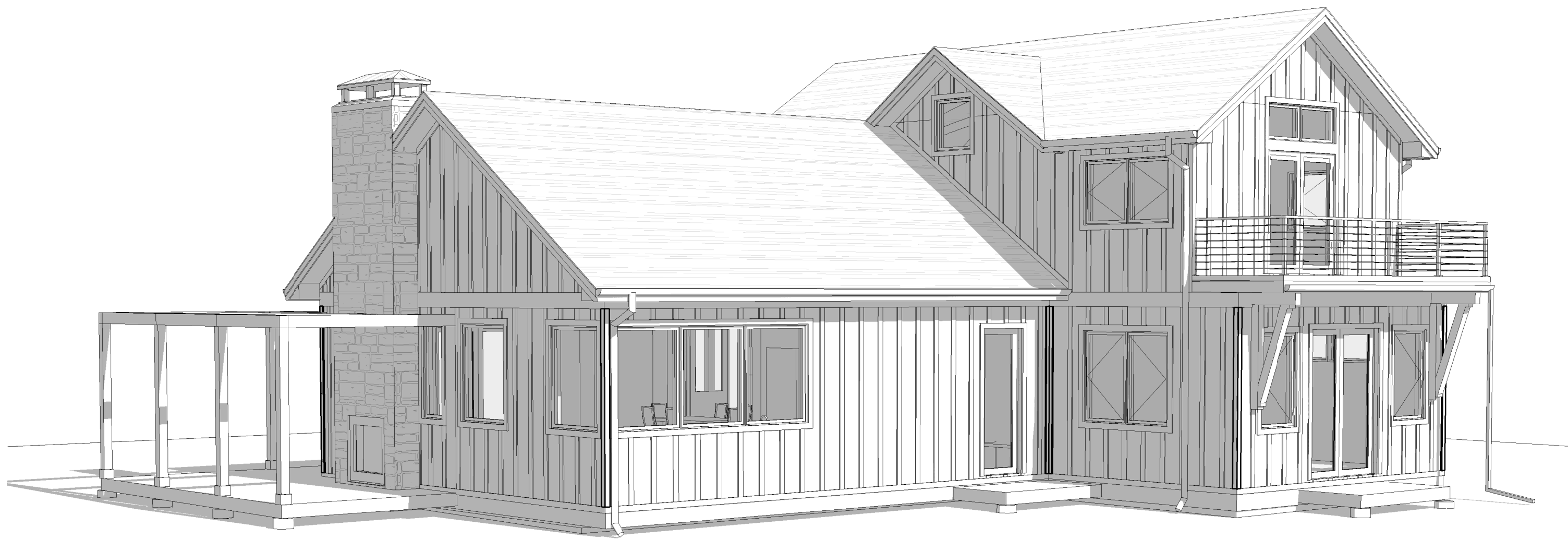




Whisper Creek



DESIGN CRITERIA

GOVERNING CODES

2018 INTERNATIONAL BUILDING CODE (IBC)
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	40 PSF
	GROUND LOAD	28 PSF
	FLAT ROOF	Ce= 1.0
	EXPOSURE FACTOR	Is= 1.0
	THERMAL FACTOR	
	WARM	Ct= 1.1
	COLD	Ct= 1.1
	IMPORTANCE FACTOR	

WIND DESIGN

ULTIMATE SPEED	115 MPH
IMPORTANCE FACTOR	Iw= 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	C
-------------------------	---

FROST DEPTH

30"

SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

WCLH DESIGN CRITERIA

A

ATTENTION:

- SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO; IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
- FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. local ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
- MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR AEOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. the OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
- SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE AEOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR

- TRUSS CALCS BY TRUSS MANUFACTURER

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

AREA	
LOCATION	AREA
LIVING	
FIRST LEVEL	1548 SF
SECOND LEVEL	676 SF
	2224 SF
DECKS	
BALCONY	111 SF
OPEN PORCH	500 SF
	611 SF

SHEET LIST

SHEET#	SHEET NAME
COVER	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	FIRST FLOOR PLAN
A2.0	SECOND FLOOR PLAN
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A4.0	SCHEDULES
A4.1	WINDOW SCHEDULE
A5.0	SECTIONS
A5.1	SECTIONS
A5.2	FIRST FLOOR TRUSS DETAILS
A5.3	SECOND FLOOR TRUSS DETAILS
A6.0	FRAMING DETAILS
A6.1	FRAMING DETAILS
A6.2	DETAILS & WALL SECTIONS
STRUCTURAL	
S1.0	FOUNDATION PLAN
S2.0	MAIN FLOOR FRAMING PLAN
S2.1	SECOND FLOOR FRAMING PLAN
S3.0	ROOF FRAMING PLAN
S4.0	STRUCTURAL DETAILS

SHEET TITLE:
COVER SHEET

PLAN NO.:
9021-000

SHEET NO.:
A0.0



Whisper Creek

1883 Highway 93 South
Hamilton, MT 59840
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fx. 406.363.0537
wclhdesign@mtmhi.com

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS

No.	By:	Date:

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

COVER SHEET

PROJECT NO.:

FINALS

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE: 8/22/2019 10:16:10 AM

SHEET NO.:

A0.0

PLAN NO.:
9021-000

FLOOR PLAN NOTES

1. CONTRACTOR WILL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUD OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2' LOWER THAN TOP OF THRESHOLD ON THE EXTERIOR SIDE. IT SHALL NOT BE LOWER THAN 7 3/4" FROM TIP OF THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER LANDING OR FLOOR.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WCLH INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD

GUARDRAIL NOTES:

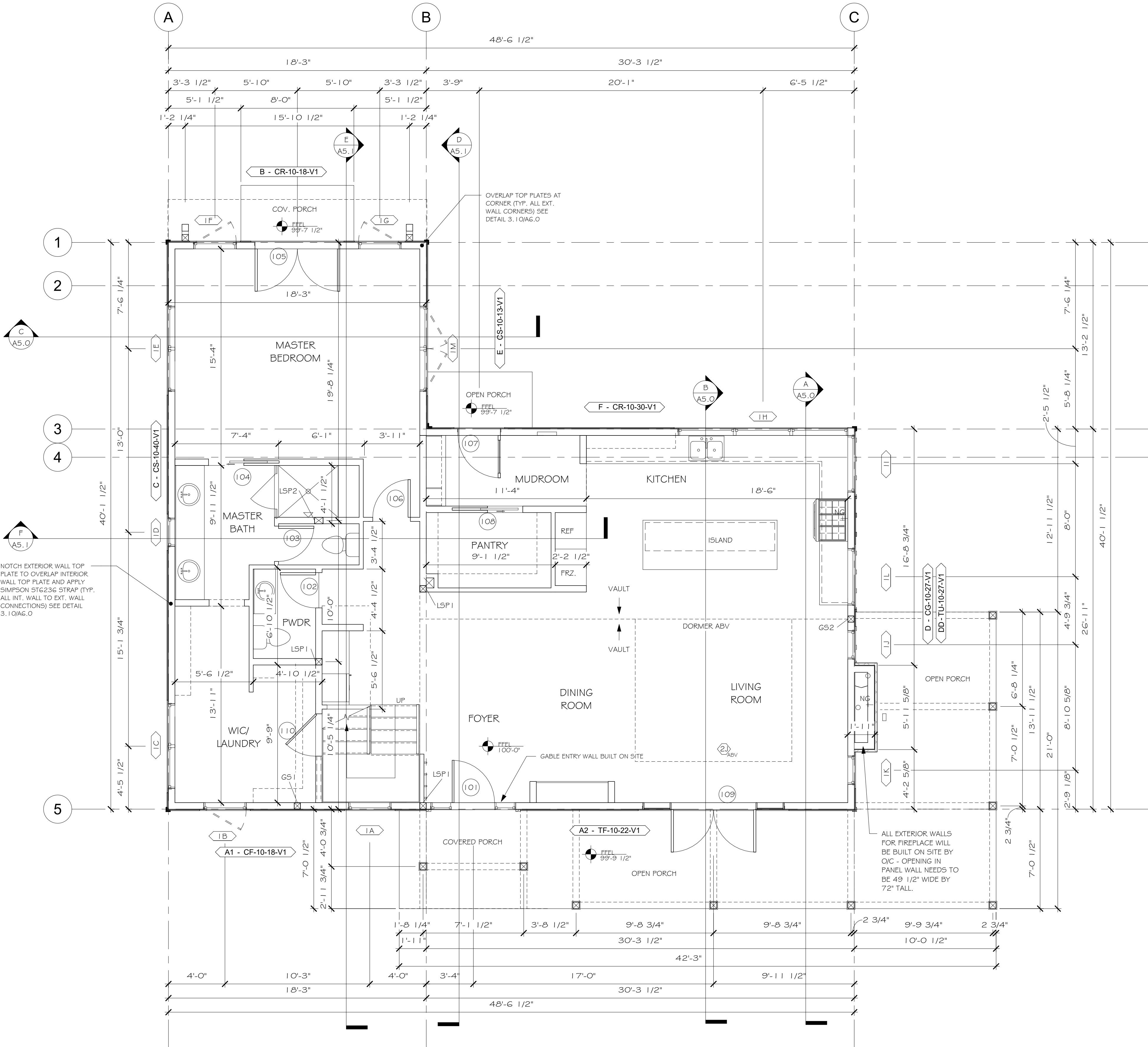
1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT 6-INCH SPHERE CANNOT PASS THROUGH

HANDRAIL NOTES:

1. RESIDENTIAL STAIRS REQUIRE HANDRAILS ON A MINIMUM OF ONE SIDE.
2. HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH ENDS RETURNED TO NEWEL POST OR WALL.
3. THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/4" INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTION FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND ANY ABUTTING CONSTRUCTION SO AS TO AVOID INJURY TO FINGERS.

STAIRWAY NOTES:

1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.
2. THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES OR GREATER THAN 7-3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
3. THE RUN SHALL NOT BE LESS THAN 11 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHER MOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.
4. WINDER TREADS SHALL HAVE A MINIMUM OF TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE NARROW SIDE OF THE TREAD, AND HAVE A MINIMUM DEPTH OF 6". WITHIN ANY FLIGHT OF STAIRS THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".



FIRST FLOOR PLAN

1/4" = 1'-0"

SHEET TITLE

FIRST FLOOR PLAN

SHEET NO.

PLAN NO.

9021-000

A1.0

1883 Highway 93 South
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wclhdesign@gmail.com

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS

No.	By:	Date:

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

FIRST FLOOR PLAN

PROJECT NO.:

9021-000

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

8/22/2019 10:16:11 AM

SHEET NO.:

A1.0

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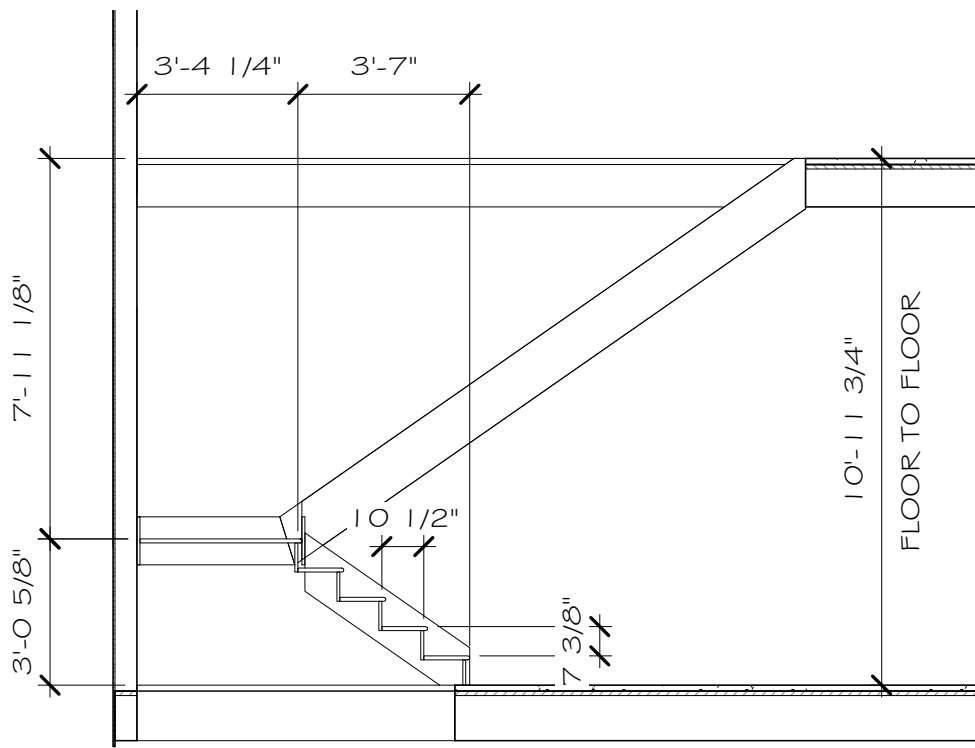
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FLOOR PLAN NOTES

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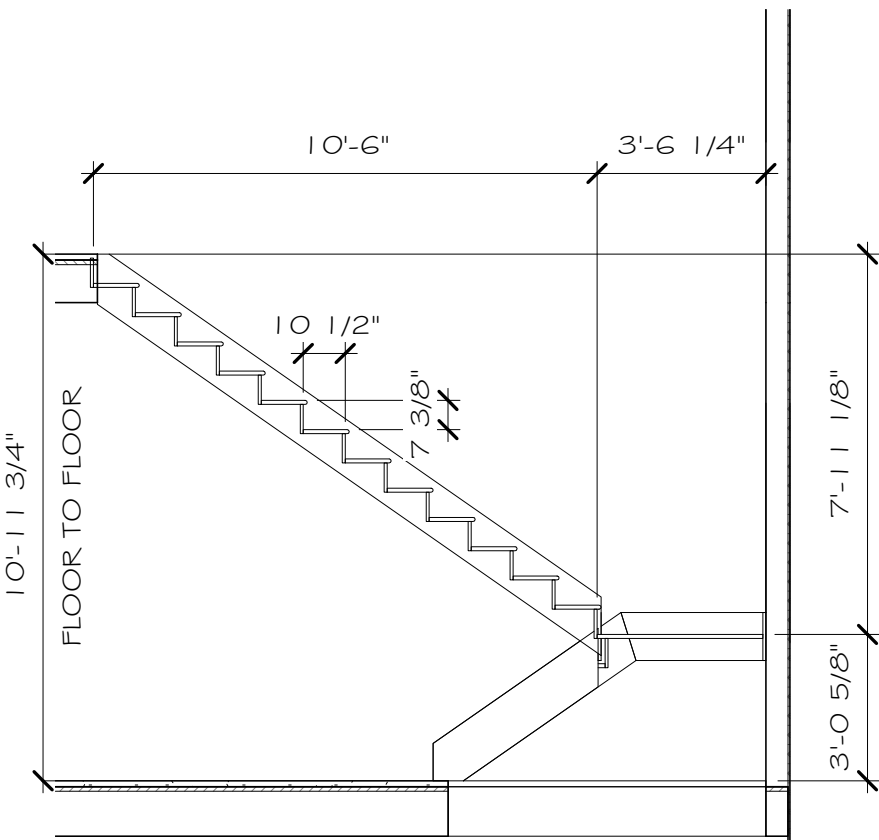
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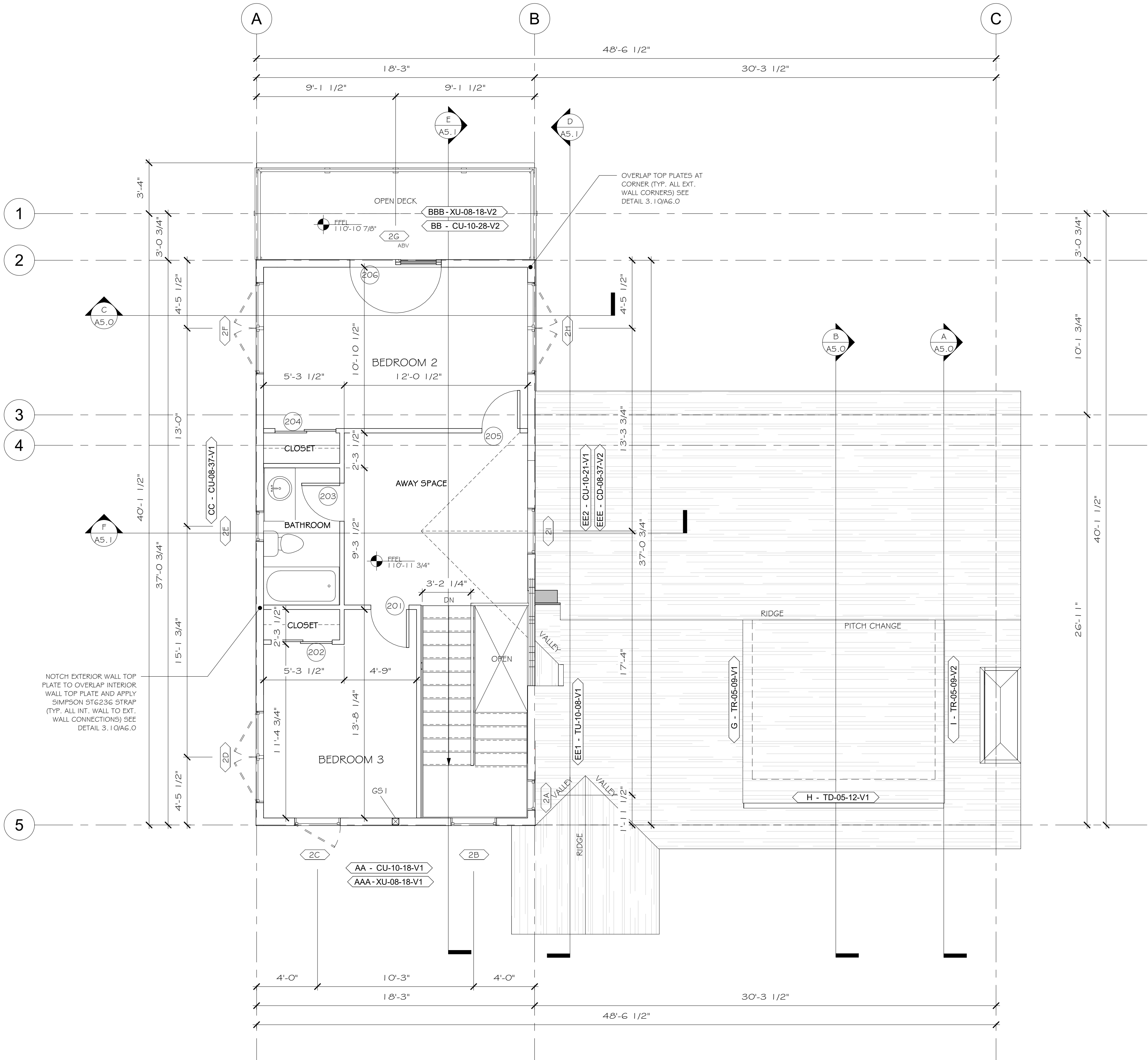
BTM STAIRS SECTION

1/4" = 1'-0"



TOP STAIR SECTION

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"

SHEET TITLE:
SECOND FLOOR PLAN

SHEET NO.:
A2.0

PLAN NO.:
9021-000



Whisper Creek
LOG HOMES

1893 Highway 93 South
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fx. 406.363.6537
wclhdesign@gmail.com

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS		
No.	By:	Date:

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

SECOND FLOOR PLAN

PROJECT NO.:
9021-000

FINALS

DRAWN BY:
JCF

CHECKED BY:
MANAGER

DATE:
8/22/2019 10:16:13 AM

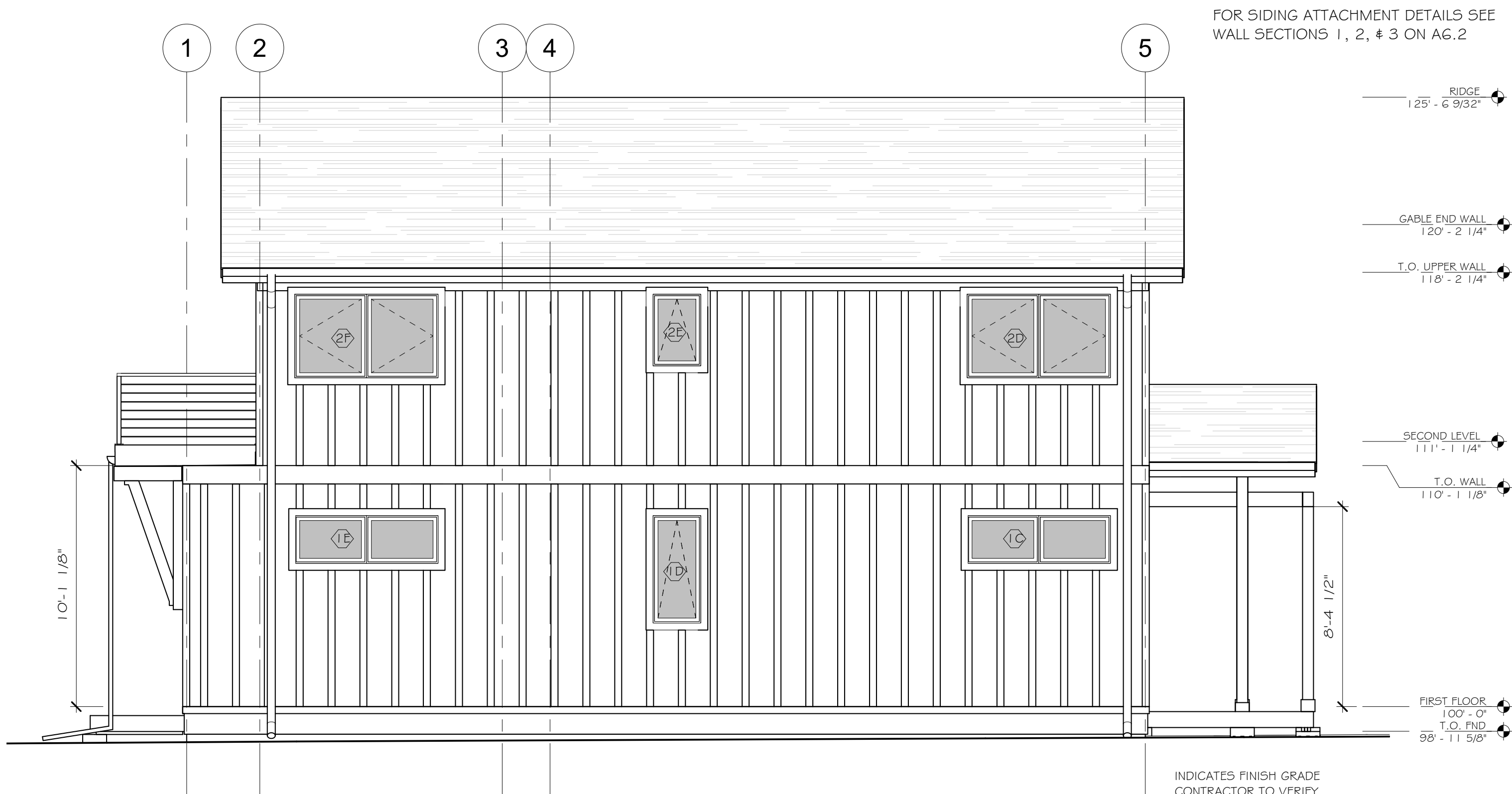
SHEET NO.:
A2.0

ELEVATION NOTES

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
2. MODIFICATIONS TO THE STRUCTURE MUST BE APPROVED BY THE A/EOR IN WRITING PRIOR TO MAKING ANY CHANGES. GRADES INDICATED ARE APPROXIMATE AND MAY BE MODIFIED SUBJECT TO FINAL SITE CONDITIONS. DRAINAGE AWAY FROM THE STRUCTURE MUST BE MAINTAINED.
3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

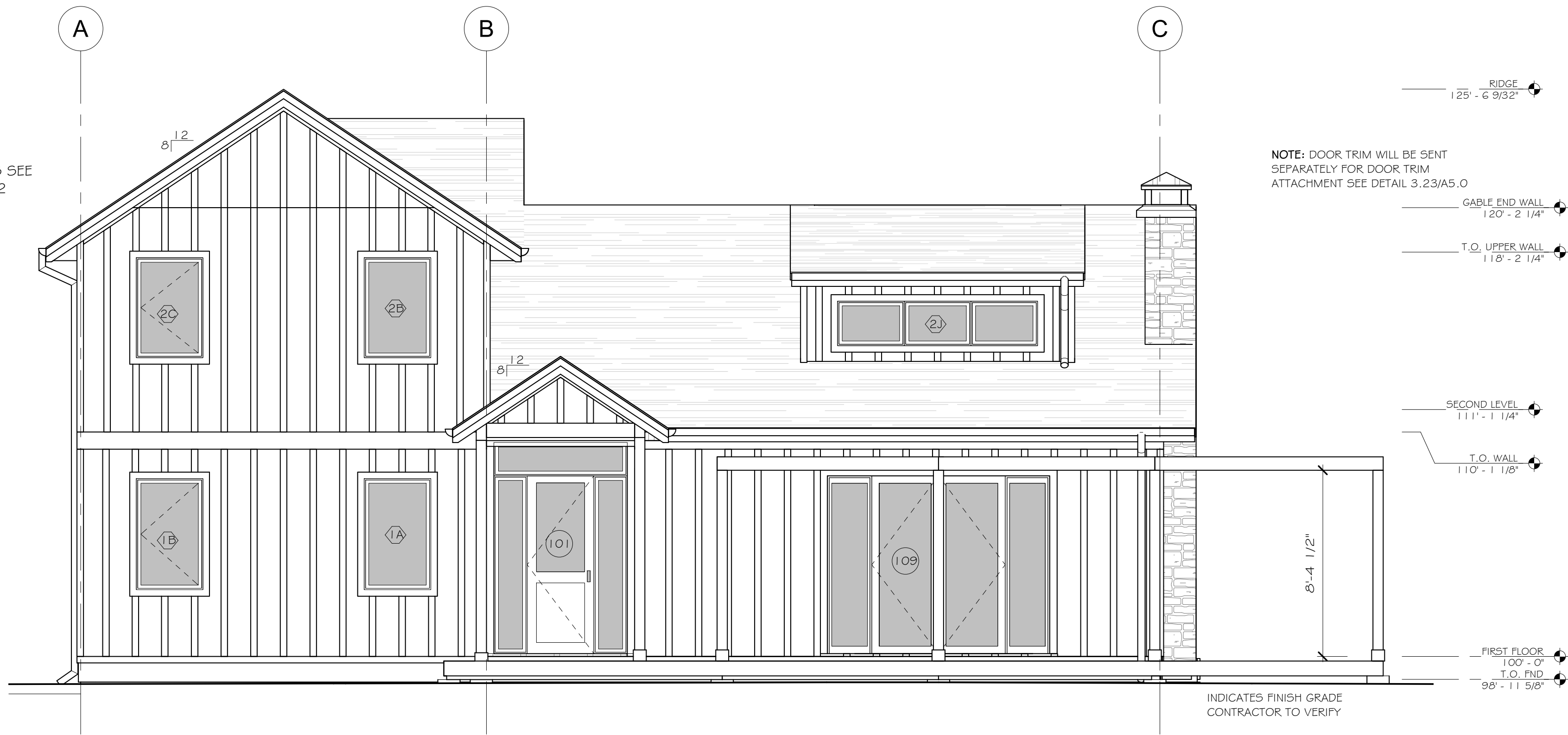
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NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

ELEVATIONS

SHEET NO. 9021-000

Whisper Creek

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS

No.	By:	Date:

PROJECT NAME:
CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:
ELEVATIONS

PROJECT NO.: 9021-000

FINAL

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE: 8/22/2019 10:16:14 AM

SHEET NO.: A3.0

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
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4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

O/C	INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
WCLH	INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
A/EOR	INDICATES ARCHITECT/ENGINEER OF RECORD

Architectural elevation drawing of the front of a house. The drawing shows a two-story structure with a central chimney, a gabled roof, and various windows and doors. The elevation is divided into three main sections: the first floor, the second level, and the gable end wall. The first floor features a central entrance with a small porch, flanked by windows 1K and 1J. The second level has a large window 1L and a double window 1M. The gable end wall contains a single window 2I. The roofline is marked with a ridge line and a gable end wall line. The drawing includes dimensions for the roof, walls, and floor levels.

Legend:

- RIDGE: 125' - 6 9/32"
- GABLE END WALL: 120' - 2 1/4"
- T.O. UPPER WALL: 118' - 2 1/4"
- SECOND LEVEL: 111' - 1 1/4"
- T.O. WALL: 110' - 1 1/8"
- FIRST FLOOR: 100' - 0"
- T.O. FIN: 98' - 11 5/8"

$$1/4'' = 1'-0''$$

INDICATES FINISH GRADE
CONTRACTOR TO VERIFY

NOTE: DOOR TRIM WILL BE SENT SEPARATELY FOR DOOR TRIM ATTACHMENT SEE DETAIL 3.23/AG.C

$$1/4'' = 1'-0''$$

RIDGE
125' - 6 9/32"

GABLE END WALL
120' - 2 1/4"

T.O. UPPER WALL
118' - 0 1/4"

SECOND LEVEL
111' - 1 1/4"

T.O. WALL
110' - 1 1/8"

FIRST FLOOR
100' - 0"

T.O. PWD
98' - 11 5/8"

INDICATES FINISH GRADE
CONTRACTOR TO VERIFY

ELEVATIONS

ELEVATIONS

PLAN NO.:

A3.1



By Rocky Mountain Homes

1883 Highway 93 South
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fx. 406.363.6537
wclhdesign@rmlh.com

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ARCHITECT/ ENGINEER OF RECORD

REVISIONS

No.	By:	Date:

PROJECT NAME:

CUSTOM

OWNER

BARR

ADDRESS:

724 Lincoln Ave
Louisville, CO 80027

DRAWING TITLE:

ELEVATIONS

PROJECT NO.:

FINALS

DRAWN BY: ICE

QUEUED BY

DATE: _____

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A3.1

100

9021-000