



Whisper Creek



DESIGN CRITERIA

GOVERNING CODES

2015 INTERNATIONAL BUILDING CODE (IBC)
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	
	GROUND LOAD	130 PSF
	FLAT ROOF	115 PSF
	EXPOSURE FACTOR	Ce = 1.0
THERMAL FACTOR		
WARM		
COLD		
IMPORTANCE FACTOR		
		Ct = 1.1
		Ct = 1.1
		Is = 1.0

WIND DESIGN

ULTIMATE SPEED	90MPH
IMPORTANCE FACTOR	Iw = 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	C
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FROST DEPTH

36"

SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

WCLH DESIGN
CRITERIA
D

ATTENTION:

- SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER/CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO; IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
- FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. LOCAL ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
- MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. THE OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
- SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

AREA SCHEDULE	
NAME	AREA
LIVING	
MAIN FLOOR	1380 SF
LOFT	915 SF
BASEMENT	587 SF
2882 SF	
NON-LIVING	
GARAGE	773 SF
773 SF	

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

SHEET LIST - PRELIMINARY PLANS	
SHEET#	SHEET NAME
A4.0	COMPONENT ISOMETRIC
COVER	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	BASEMENT PLAN
A1.1	MAIN FLOOR PLAN
A1.2	LOFT FLOOR PLAN
A2.0	FRONT & RIGHT ELEVATION
A2.1	BACK & LEFT ELEVATION
A3.0	SCHEDULES

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR

- TRUSS CALCS BY TRUSS MANUFACTURER

SHEET TITLE:
COVER SHEET

PLAN NO.:

TBD

SHEET NO.:

A0.0



Whisper Creek

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THESE DESIGNS AND DETAILS ARE BASED ON MANY YEARS OF CONSTRUCTION, DESIGN, AND ENGINEERING PRACTICE IN NUMEROUS DIVERSE JURISDICTIONS. THE PURPOSE IS TO PROVIDE A BASIS FOR THE DESIGNS INCORPORATED IN WHISPER CREEK LOG HOMES (WCLH). HOWEVER, IT IS THE RESPONSIBILITY OF THE OWNER TO CONSULT WITH ARCHITECT OR ENGINEER OF RECORD (E.O.R.) TO REVIEW AND VERIFY ANY AND ALL OF THE ASSUMPTIONS MADE AND DESIGNS PRESENTED. WCLH MAKES NO WARRANTY OR GUARANTEE AS TO THE FINAL SITE SPECIFIC APPLICABILITY OF THE DESIGN. ANY AND ALL PROPOSED CHANGES BY THE E.O.R. SHALL BE COORDINATED WITH WCLH. ALL CHANGES MUST BE APPROVED IN WRITING BY WCLH. IF APPROVED, ALL CHANGES WILL RESULT IN ADDITIONAL COSTS AND MAY REQUIRE MODIFICATIONS TO THE PLANS AND WALLS.

PRELIMINARY PLAN SET

REVISIONS

No.	By:	Date:	

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

COVER SHEET

PROJECT NO.:

DRAWN BY: JCF

CHECKED BY: **MANAGER**

DATE:

SHEET NO.:

A0.0

PLAN NO.:

TBD

- FILE PATH: F:\TookInMirror\Consulting Work\Rocky Mountain Homes\WCLH\Westover(Wray) - Custom\Revit\Westover Prelims.rvt

FLOOR PLAN NOTES

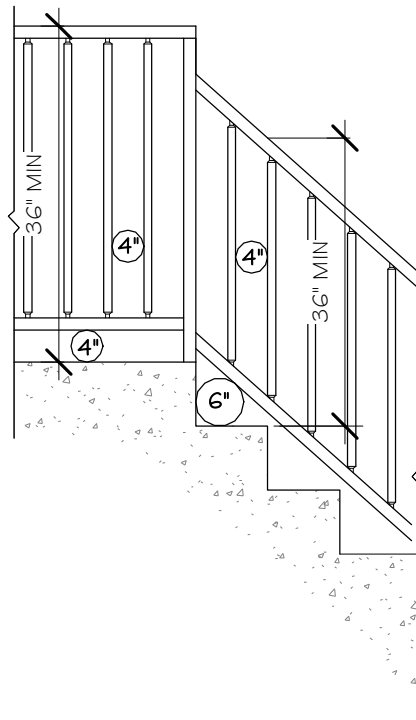
1. CONTRACTOR WILL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2' LOWER THAN TOP OF THRESHOLD ON THE EXTERIOR SIDE. IT SHALL NOT BE LOWER THAN 7 3/4" FROM TIP OF THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER LANDING OR FLOOR.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD

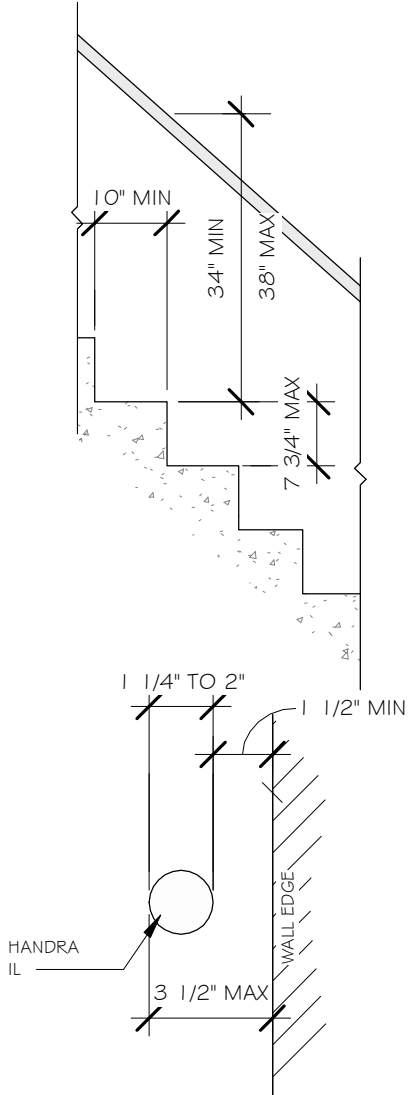
GUARDRAIL NOTES:

1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT 6-INCH SPHERE CANNOT PASS THROUGH



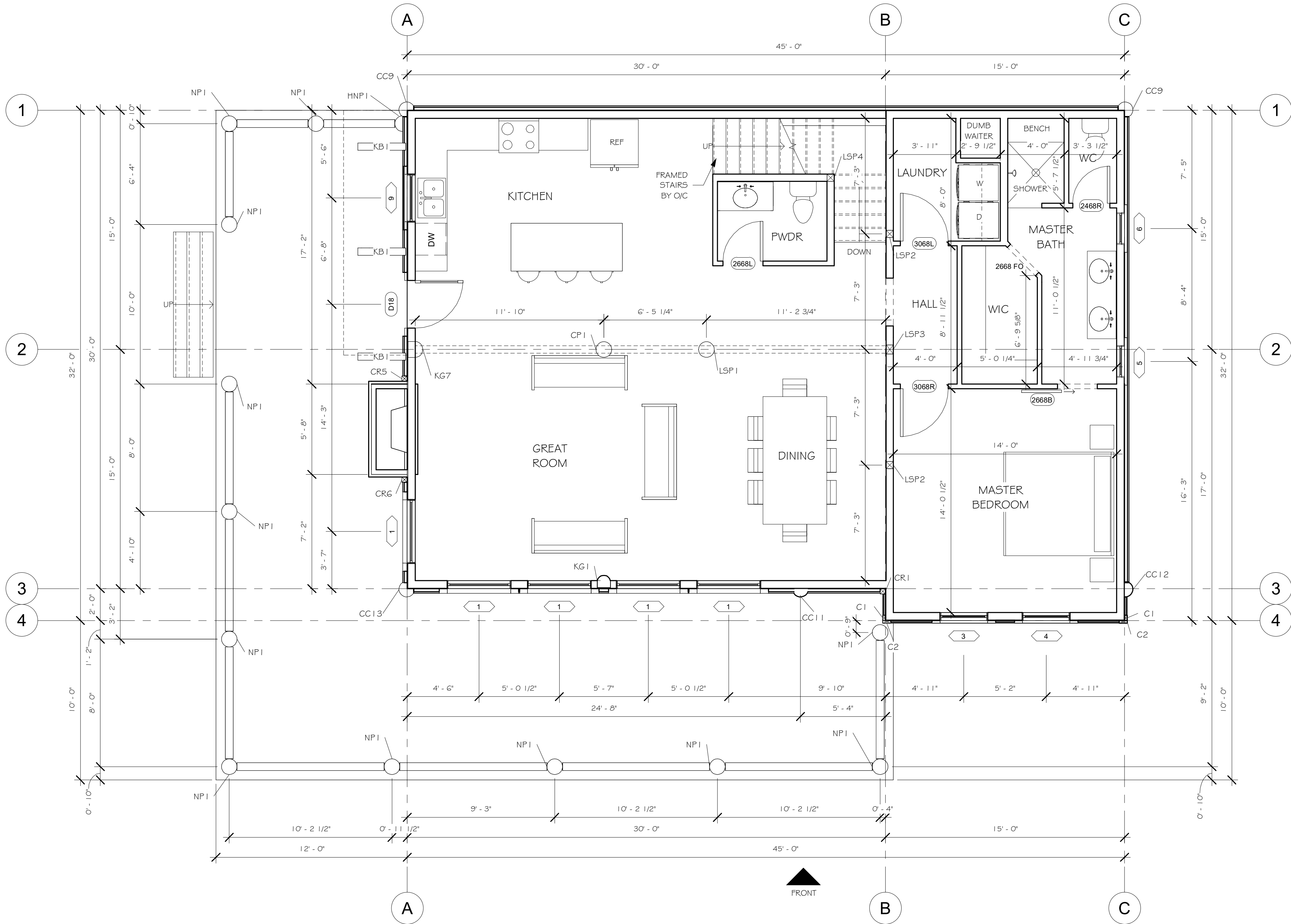
HANDRAIL NOTES:

1. RESIDENTIAL STAIRS REQUIRE HANDRAILS ON A MINIMUM OF ONE SIDE.
2. HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH ENDS RETURNED TO NEWEL POST OR WALL.
3. THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/4" INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTION FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND ANY ABUTTING CONSTRUCTION SO AS TO AVOID INJURY TO FINGERS.



STAIRWAY NOTES:

1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.
2. THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES OR GREATER THAN 7-3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
3. THE RUN SHALL NOT BE LESS THAN 11 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHER MOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.
4. WINDER TREADS SHALL HAVE A MINIMUM OF TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE NARROW SIDE OF THE TREAD, AND HAVE A MINIMUM DEPTH OF 6". WITHIN ANY FLIGHT OF STAIRS THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".



MAIN FLOOR

1/4" = 1'-0"

SHEET TITLE:
MAIN FLOOR PLAN

PLAN NO.:
SHEET NO.:
A1.1

TBD



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PRELIMINARY
PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

MAIN FLOOR PLAN

PROJECT NO.:

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE:

SHEET NO.:

A1.1

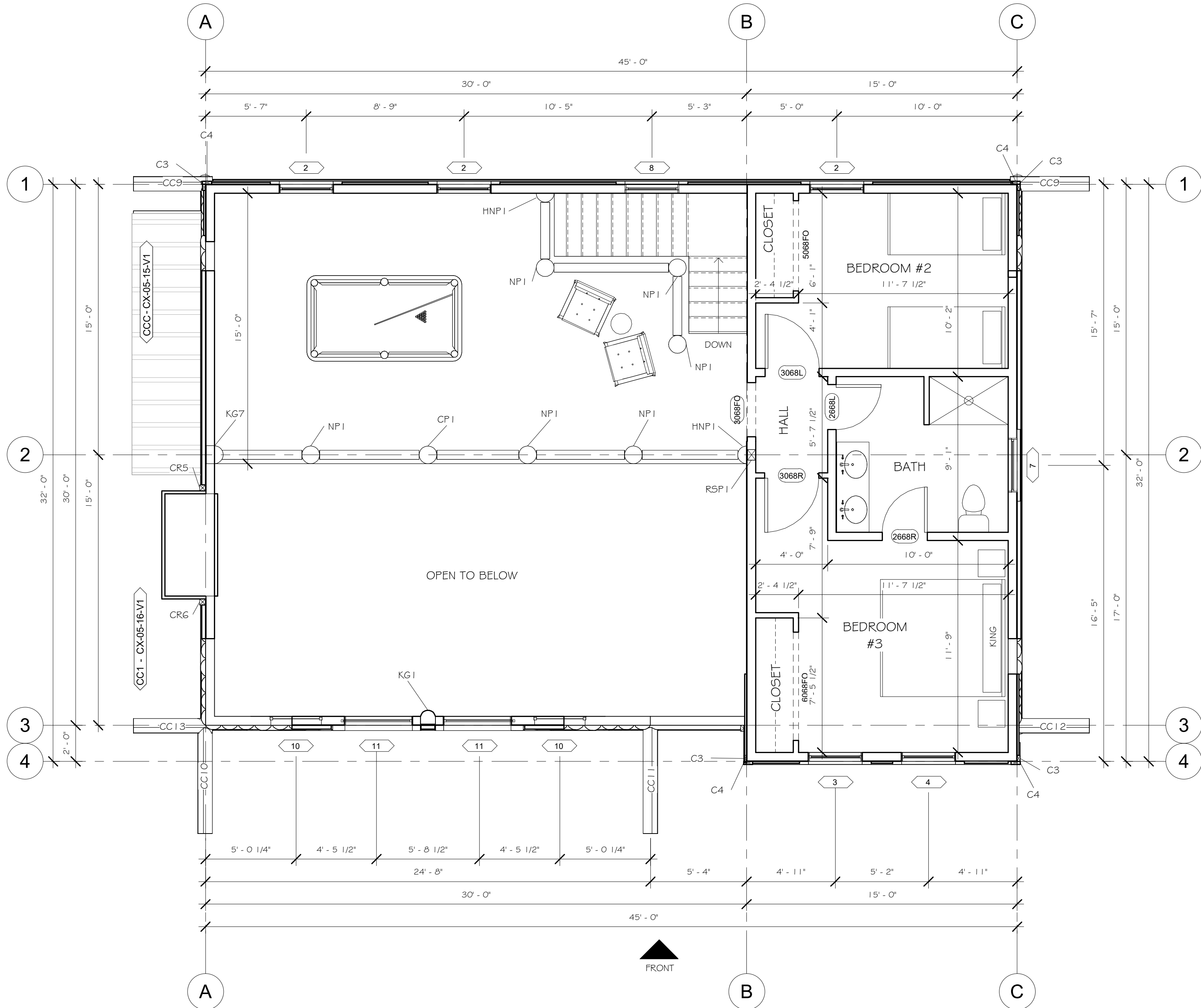
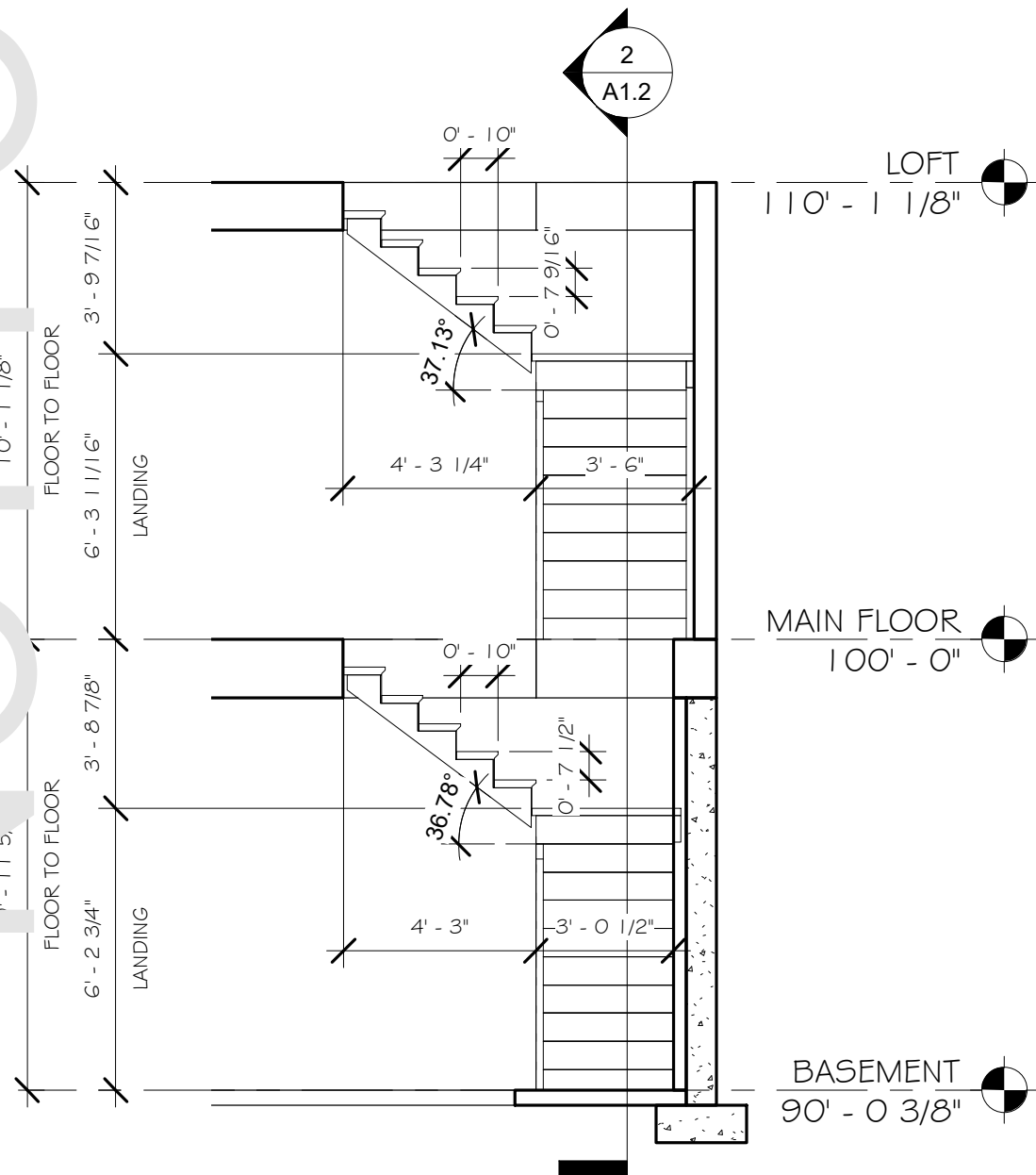
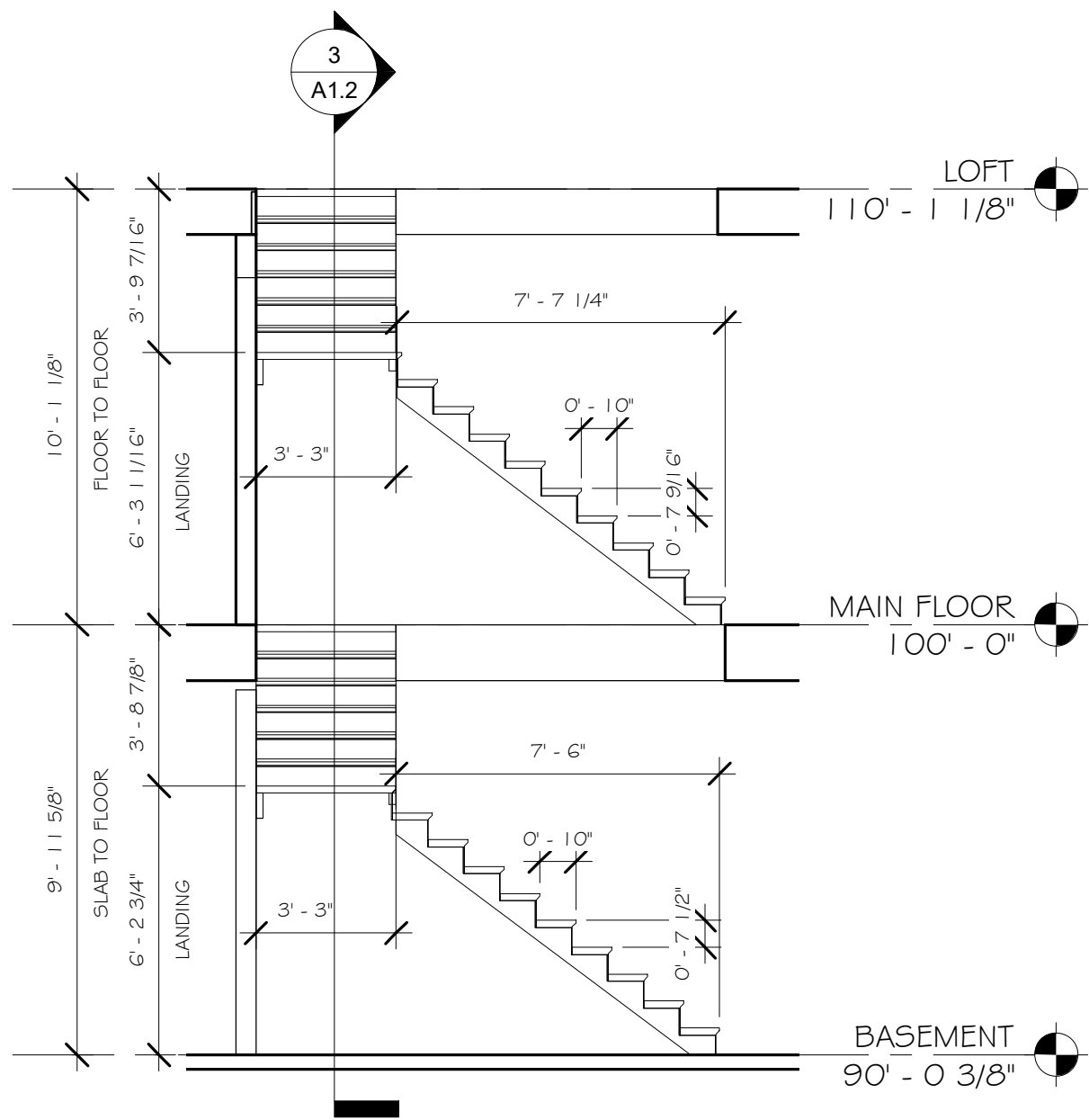
PLAN NO.:
TBD

FLOOR PLAN NOTES

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2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN TOP OF THRESHOLD ON THE EXTERIOR SIDE. IT SHALL NOT BE LOWER THAN 7 3/4" FROM TIP OF THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER LANDING OR FLOOR.

ABBREVIATIONS

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SHEET TITLE:

LOFT FLOOR PLAN

PLAN NO.:

TBD

SHEET NO.:

A1.2



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PRELIMINARY PLAN SET

REVISIONS

No.	By:	Date:	

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

LOFT FLOOR PLAN

PROJECT NO.:

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

SHEET NO.:

A1.2

PLAN NO.:

TBD

ELEVATION NOTES

1. CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
2. MODIFICATIONS TO THE STRUCTURE MUST BE APPROVED BY THE A/EOR IN WRITING PRIOR TO MAKING ANY CHANGES. GRADES INDICATED ARE APPROXIMATE AND MAY BE MODIFIED SUBJECT TO FINAL SITE CONDITIONS. DRAINAGE AWAY FROM THE STRUCTURE MUST BE MAINTAINED.
3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

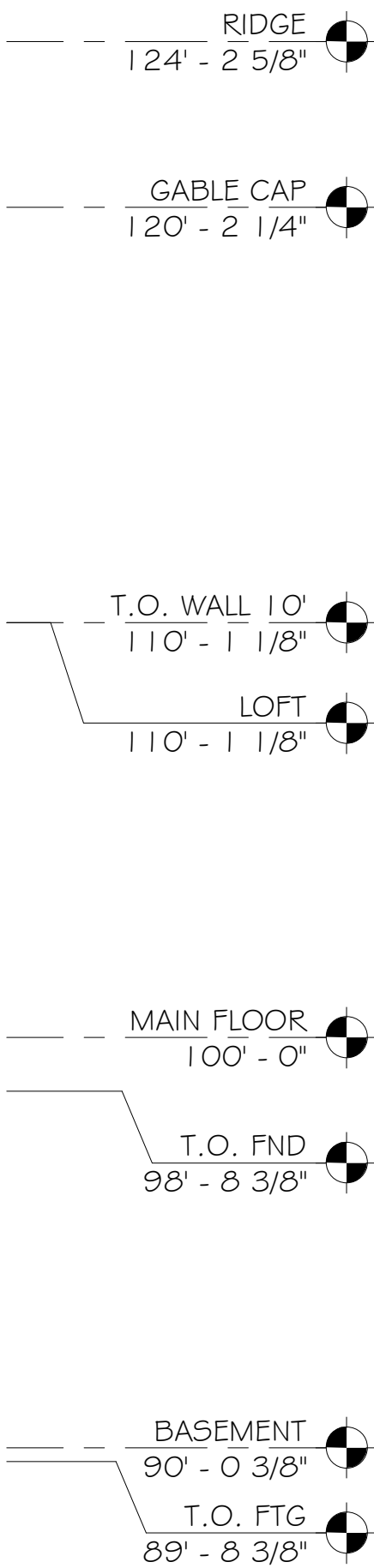
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FRONT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

SHEET TITLE:
FRONT & RIGHT
ELEVATION

PLAN NO.:
SHEET NO.:
A2.0

TBD



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PRELIMINARY
PLAN SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:
CUSTOM

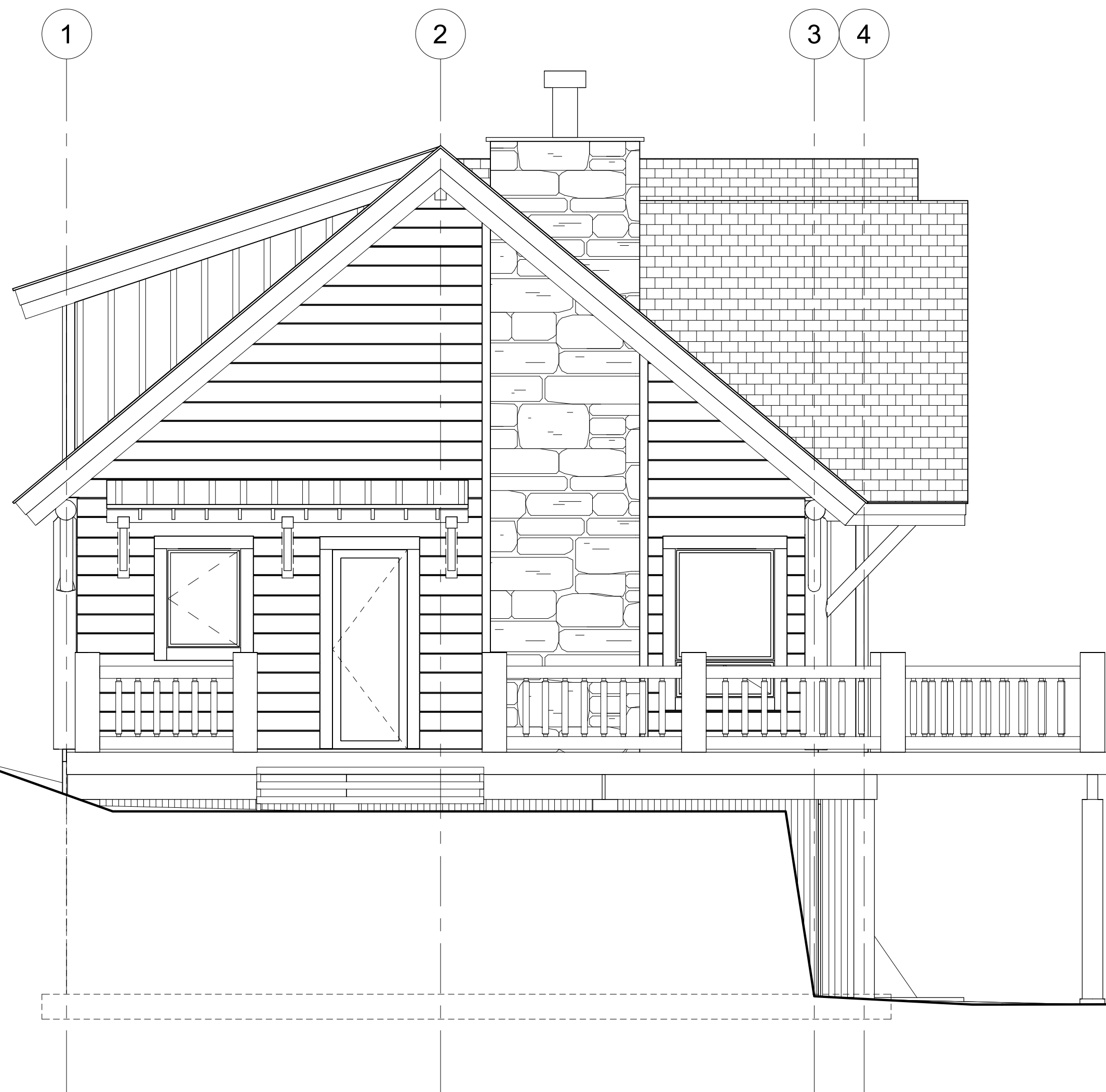
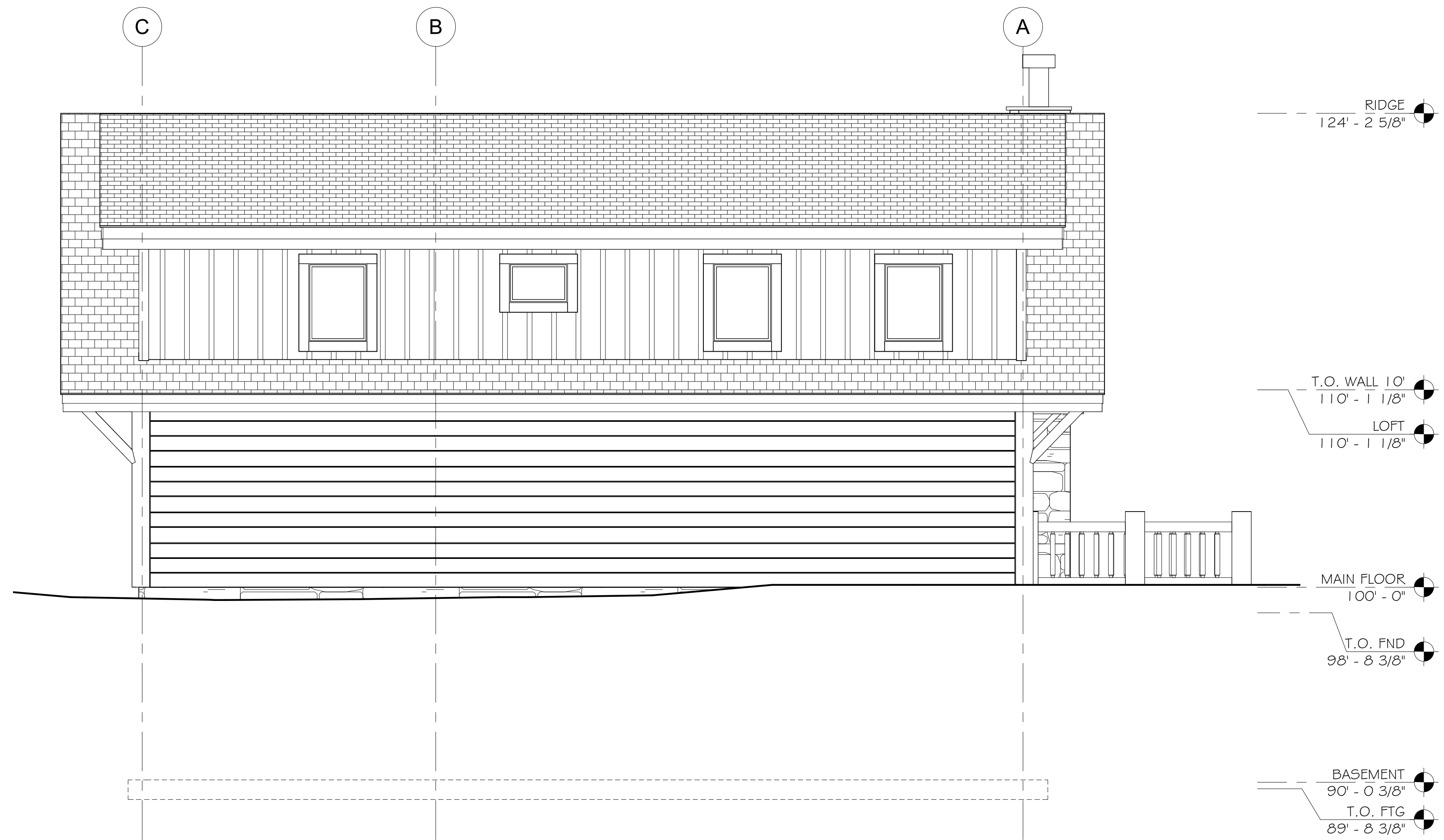
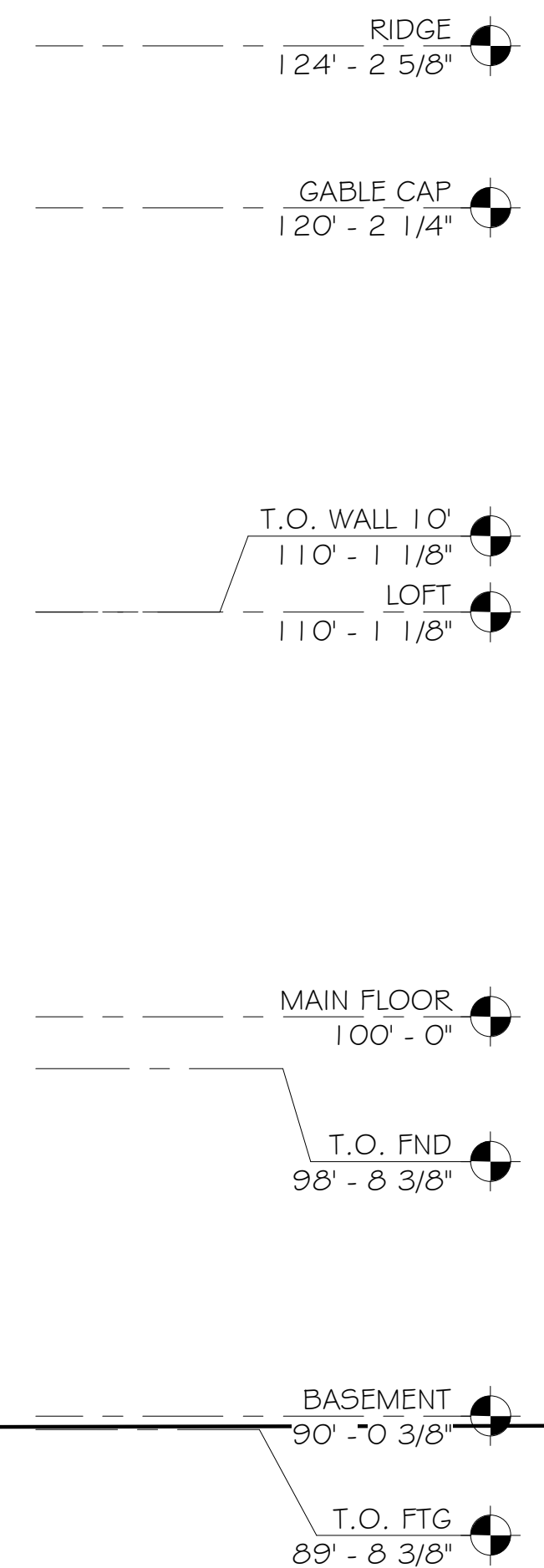
OWNER:

ADDRESS:

DRAWING TITLE:
FRONT & RIGHT
ELEVATION

PLAN NO.: TBD	PROJECT NO.:	
	DRAWN BY: JCF	
	CHECKED BY: MANAGER	
	DATE:	
SHEET NO.:		A2.0

O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD


$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$


BACK & LEFT ELEVATION

PLAN NO.:

TBD

A2.1



Whisper Creek

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CONSTRUCTION ON THE SITE
DESCRIBED HEREON AND NO OTHER.

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PRELIMINARY PLAN SET

REVISIONS

No.	By:	Date:
-----	-----	-------

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

BACK & LEFT ELEVATION

PROJECT NO.:	
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DRAWN BY:

CHECKED BY: **MANAGER**

DATE: _____

SHEET NO.:

TBD

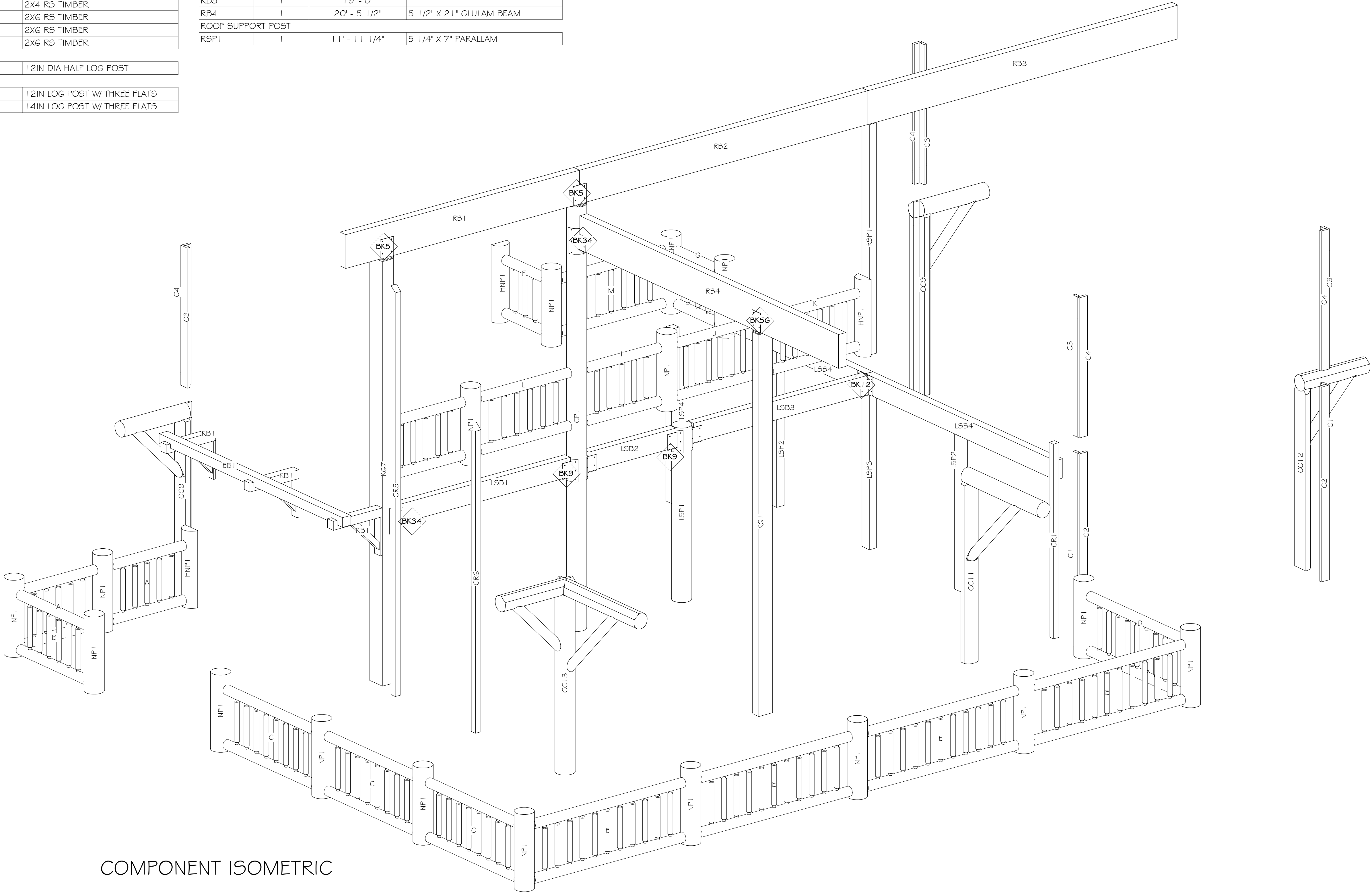
A2.1

NOT FOR CONSTRUCTION

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
ATTACHMENT WALL CORNER			
CR1	1	10' - 1 1/8"	2X2 R5 TIMBER
CR5	1	21' - 2 7/16"	2X2 R5 TIMBER
CR6	1	15' - 1 1 1/8"	2X2 R5 TIMBER
CANTILEVER CORNER			
CC9	2	9' - 3 13/16"	1 2IN DIA LOG POST w/ 1 0IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CC10	1	9' - 3 13/16"	1 2IN DIA LOG POST w/ 1 0IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CC11	1	9' - 3 13/16"	1 2IN DIA LOG POST w/ 1 0IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CC12	1	9' - 3 13/16"	1 2IN DIA LOG POST w/ 1 0IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CC13	1	9' - 3 13/16"	1 2IN DIA LOG POST w/ 1 0IN DIA PURLIN ARM & 6IN DIA KNEE BRACE
CENTER POST			
CP1	1	22' - 0"	2 1/4" X 1 1/16" X 12" DIA
CORNER POST			
C1	2	10' - 1 1/8"	2X4 R5 TIMBER
C2	2	10' - 1 1/8"	2X6 R5 TIMBER
C3	4	7' - 3 1/8"	2X6 R5 TIMBER
C4	4	7' - 3 1/8"	2X6 R5 TIMBER
HALF NEWEL POST			
HNP1	3	4' - 0"	1 2IN DIA HALF LOG POST
KING GABLE POST			
KG1	1	19' - 9 3/8"	1 2IN LOG POST W/ THREE FLATS
KG7	1	22' - 0"	1 4IN LOG POST W/ THREE FLATS

COMPONENT SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
KNEE BRACE			
KB1	3		
LOFT SUPPORT BEAM			
LSB1	1	10' - 9"	5 1/2" X 12" GLULAM BEAM
LSB2	1	5' - 4"	5 1/2" X 12" GLULAM BEAM
LSB3	1	10' - 8"	5 1/2" X 12" GLULAM BEAM
LSB4	2	15' - 0"	5 1/2" X 12" GLULAM BEAM
LSP1	3	9' - 0 1/2"	1 2" DIA LOG POST
LOFT SUPPORT POST			
LSP2	2	8' - 0 1/2"	6X6 DIMENSIONAL LUMBER
LSP3	2		
LSP4	1	9' - 0 1/2"	6X6 DIMENSIONAL LUMBER
NEWEL POST			
NP1	18	4' - 0"	1 2IN DIA LOG POST
RIDGE BEAM			
RB1	1	14' - 4"	5 1/2" X 21" GLULAM BEAM
RB2	1	17' - 8"	
RB3	1	19' - 0"	
RB4	1	20' - 5 1/2"	5 1/2" X 21" GLULAM BEAM
ROOF SUPPORT POST			
RSP1	1	11' - 1 1/4"	5 1/4" X 7" PARALLAM

BRACKET SCHEDULE		
BRACKET #	COUNT	DESCRIPTION
BK5	2	CENTER POST TO RIDGE BEAM
BK5G	1	KING GABLE POST TO RIDGE BEAM
BK9	2	POST W/ 2 GL SADDLE BRACKETS
BK12	1	LOFT SUPPORT BEAM SADDLE
BK34	2	KING GABLE POST TO LOFT SUPPORT BEAM



COMPONENT ISOMETRIC

COMPONENT ISOMETRIC

TBD

Whisper Creek

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PRELIMINARY PLAN SET

REVISIONS

No.	By:	Date:	

PROJECT NAME:

CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:

COMPONENT ISOMETRIC

PROJECT NO.:

PLAN NO.:

TBD

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

SHEET NO.:

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FILE PATH:

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